

## GENERAL NOTES

- CODE COMPLIANCE  
ALL WORK SHALL COMPLY WITH THE 2018 IRC, 2015 MFC, 2015 IFCC, 2015 UPC, 2015 IPCM, 2008 NEC, 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH WASHINGTON STATE AMENDMENTS, 2009 ICC A117.1, AND ALL LOCAL CODES, ORDINANCES, AND COVENANTS OF THE JURISDICTION WHERE IT IS BUILT.
- DIMENSIONS  
DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK.  
UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE WALLS. FACE OF STONE VENEER LIES 1/4" OUTSIDE THE FACE OF FRAMING. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL FIXTURES AND APPLIANCES PRIOR TO COMMITMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OF DIMENSIONAL TOLERANCES REQUIRED.
- DOCUMENT REVIEW/VERIFICATION:  
CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK. APPROVAL BY AN INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE DRAWINGS OR SPECIFICATIONS.
- ROUGH OPENINGS BACKING:  
VERIFY SIZE AND LOCATION, AS WELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BACKS/BACKING FOR SURFACE-MOUNTED ITEMS.
- FURRING:  
PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FURRING NOT SHOWN ON PLANS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
- GRADES: VERIFY ALL GRADES AND THEIR RELATIONSHIP TO THE BUILDING(S).
- FLOOR LINES: "FLOOR LINE" REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.
- REPETITIVE FEATURES: OFTEN DRAWN ONLY ONCE AND SHALL BE PROVIDED AS IF FULLY DRAWN.
- DOORS:  
DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR, ROUGH OPENING OR CENTERED BETWEEN WALLS AS SHOWN.
- WOOD MEMBERS IN CONTACT WITH CONCRETE, AND/OR EXPOSED TO WEATHER:  
TO BE PRESSURE TREATED, TYPICAL. PROVIDE PRESSURE TREATED SILL PLATE IF FINISH GRADE IS WITHIN 8", TYPICAL.
- FRAMING:  
ALL NEW INTERIOR FRAME PARTITIONS TO BE 2X4 @ 16" O.C. & ALL NEW EXTERIOR FRAME PARTITIONS TO BE 2X6 @ 16" O.C. UNLESS OTHERWISE NOTED. VERIFY W/ STRUCTURAL DRAWINGS. EXISTING EXTERIOR WALLS ARE 2X4 STUDS @ 16" O.C., AND ARE TO REMAIN.
- VENTILATION:  
VENT ALL BATHROOM FANS, LAUNDRY FANS, RANGE HOODS AND DRYER VENTS TO OUTSIDE ATMOSPHERE. BATHROOM/UTILITY ROOM FANS SHALL BE CAPABLE OF 5 AIR CHANGES PER HOUR AND SHALL BE VENTED DIRECTLY TO THE OUTSIDE THROUGH SMOOTH, RIGID, NON-CORROSIVE METAL, 24 GA. DUCTWORK. FLEX DUCTING IS NOT ALLOWED.
- FLUES: FLUES TO BE LOCATED MINIMUM 2' FROM ALL COMBUSTIBLE MATERIALS.
- DOWNSPOUTS: LOCATE NEW DOWNSPOUTS AS SHOWN ON ROOF PLAN, FLOOR PLANS & ELEVATIONS.
- OTHER DOCUMENTATION  
REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, AND/OR LANDSCAPE DRAWINGS FOR ADDITIONAL DRAWINGS, NOTES, SCHEDULES, AND SYMBOLS.
- PROTECTION:  
PROTECT ALL EXISTING FINISHES AND SURFACES. ANY DAMAGE WILL BE REPAIRED WITHOUT ADDITIONAL COST TO OWNER.
- PERMITS:  
SEPARATE ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS ARE REQUIRED IN ADDITION TO THE BASIC BUILDING PERMIT.  
ROOFING: PROVIDE NEW ROOFING TO MATCH EXISTING.  
EXHAUST DUCTS: PROVIDE BACKDRAFT DAMPERS AT ALL EXHAUST DUCTS.  
PROVIDE COMBUSTION AIR OPENINGS INTO FURNACE ROOM PER UMC 703.
- APPLIANCES  
CLEARANCES OF UL LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED IN UL LISTING.
- WATER FLOW:  
SHOWER SHALL BE EQUIPPED WITH FLOW CONTROL DEVICE TO LIMIT WATER FLOW TO 2.5 GALLONS PER MINUTE.
- SMOKE DETECTORS:  
A NFPA 72-CHAPTER 20 MONITORED FIRE ALARM SYSTEM IN COMPLIANCE WITH NFPA 72 AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.
- THE CONTRACTOR SHALL SCHEDULE WALK-THROUGHS AT EACH OF THE BELOW NOTED INTERVALS AT MINIMUM:  
1. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION  
2. PRIOR TO THE COMMENCEMENT OF MECHANICAL & ELECTRICAL WORK

## DUTY OF COOPERATION

RELEASE AND ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, CONTRACTOR, AND STURMAN ARCHITECTS. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED IN THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO STURMAN ARCHITECTS. FAILURE TO DO SO SHALL RELIEVE STURMAN ARCHITECTS FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES.

ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT THE CONSENT OF STURMAN ARCHITECTS ARE UNAUTHORIZED. FAILURE TO OBSERVE THESE PROCEDURES SHALL RELIEVE STURMAN ARCHITECTS OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING FROM SUCH ACTIONS.

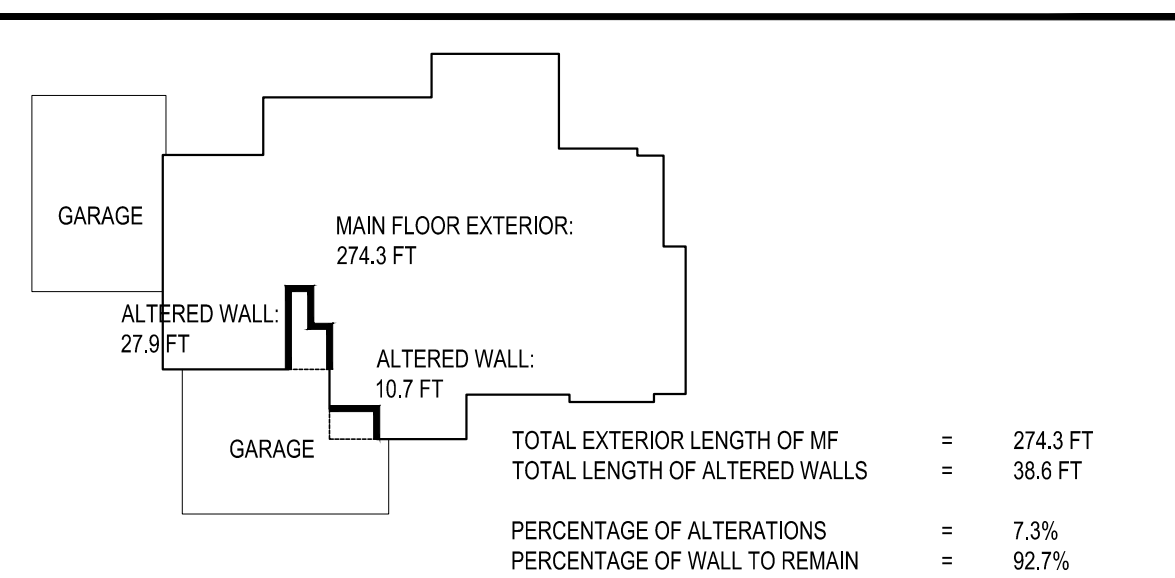
## LEGAL DESCRIPTION

LOT A M1 SP 87-06-08 (1-2) REC NO 8709159002 SD SP DAF - POR OF W 1/2 OF E 1/2 LY N OF N LN OF S 10 AC OF E 1/2 OF SW 1/4 OF SE14 EXC S 504 FT THOF LESS CO RDS  
Plat Block:  
Plat Lot:

## SHEET INDEX

A1.0	SITE PLAN AND PROJECT DATA	S1.0	GENERAL NOTES
	BOUNDARY SURVEY	S2.0	FOUNDATION PLAN AND MAIN FLOOR FRAMING
		S2.1	UPPER FLOOR FRAMING AND LOW ROOF FRAMING
A2.0	MAIN FLOOR PLAN	S2.2	MAIN ROOF FRAMING
A2.1	KITCHEN PLAN	SD-1	STRUCTURAL DETAILS
A2.2	UPPER FLOOR PLAN	SD-2	STRUCTURAL DETAILS
A2.3	MAIN FLOOR REFLECTED CEILING	SD-3	STRUCTURAL DETAILS
A3.0	EXTERIOR ELEVATIONS	SD-4	STRUCTURAL DETAILS
A3.1	EXTERIOR ELEVATIONS	SD-5	STRUCTURAL DETAILS
A4.0	BUILDING SECTIONS		
A4.1	BUILDING SECTIONS		
A6.0	DETAILS		
A8.0	OPEN SUNROOM		
AB1	AS BUILT MAIN FLOOR PLAN		
AB2	AS BUILT UPPER FLOOR PLAN		

## 40% RULE DIAGRAM



## PROJECT DATA

PROJECT ADDRESS: 7825 SE 76TH ST  
MERCER ISLAND, WA 98040  
PROPERTY TAX ID NUMBER: 252404-9303  
SCOPE OF WORK: REMODEL OF EXISTING FAMILY ROOM INTO NEW KITCHEN WITH STRUCTURAL WORK, NEW UPPER FLOOR PRIMARY SUITE LAYOUT, NEW DOORS THROUGHOUT MAIN AND UPPER FLOORS, NEW PRIMARY BATHROOM CONFIGURATION ON UPPER FLOOR, NEW PRIMARY CLOSET ON UPPER FLOOR, NEW LAUNDRY ON UPPER FLOOR, EXISTING LAUNDRY AND UTILITY CLOSET TO BE RECONFIGURED AND BROUGHT INTO GARAGE WITH NEW CONDITIONED SPACE, NEW KITCHEN/FAMILY ROOM LAYOUT, NEW COVERED ROOM OVER EXISTING PATIO  
ZONING: R-15  
CONSTRUCTION TYPE: TYPE V B  
SEISMIC ZONE: 3  
NUMBER OF STORIES: 2 STORY  
FIRE PROTECTION:  
BUILDING HEIGHT: 30 FT ABOVE AVERAGE BUILDING ELEVATION (FLAT ROOF)  
35 FT ABOVE AVERAGE BUILDING ELEVATION (SLOPED ROOF)  
LOT AREA: 19,475 SF  
SETBACKS:  
FRONT LOT LINE = 20 FT  
REAR LOT LINE = 25 FT  
SIDE LOT LINES = 15 FT TOTAL (MINIMUM 5 FT)  
LOT COVERAGE: 40% MAX

## PROJECT TEAM

OWNER: ROBERT & JULIE DAY  
7825 SE 76TH ST  
MERCER ISLAND, WA 98040  
PHONE:  
ARCHITECT: STURMAN ARCHITECTS, INC.  
9-103RD AVE NE SUITE 203  
BELLEVUE, WA 98004  
PHONE: 425.451.7003  
CONTACT: BRAD STURMAN & JOHN MAGCRAW  
STRUCTURAL: GIRAF DESIGN  
9220 ROOSEVELT WAY NE  
SEATTLE, WA 98115  
PHONE: 206.621.0060  
CONTACT: NIC ROSSOUW  
TRAVERSE LAND SURVEYING AND MAPPING  
14745 SE 187TH CT  
RENTON, WA 98058  
PHONE: 206.949.0001  
CONTRACTOR: MARCH-MACDONALD, INC.  
9725 SE 36TH ST, STE. 401  
MERCER ISLAND, WA 98040  
PHONE: 206.232.8464  
CONTACT: CLAY MARCH

## LOT COVERAGE & HARDSCAPE

GROSS LOT AREA IS 19,475 SF

LOT COVERAGE	MAIN STRUCT. & ROOF S.F.	DRIVES/PARKING	SUN ROOM	TOTAL LOT COVERAGE	% LOT COVERAGE
EXISTING LOT COVERAGE	4,528.3 SF	2,358.0 SF	0.0 SF	6,886.3 SF	36.4 %
PROPOSED LOT COVERAGE	4,668.6 SF	2,358.0 SF	207.2 SF	7,233.8 SF	37.1 %
CHANGE	+140.3 SF	0 SF	+207.2 SF	+364.3 SF	+0.7 %
% ALLOWED LOT COVERAGE				7,799 SF ALLOWABLE	40 %

HIGHEST EL: 313.9'  
LOWEST EL: 304.1'  
ELEVATION DIFFERENCE= 9.8'  
9.8' DIVIDED BY 159.0' (HORIZ. DIST. BTWN. HIGHEST & LOWEST ELEV.) = .062  
LOT SLOPE IS 6.2%, WHICH IS LESS THAN 15%, THUS LOT COVERAGE ALLOWED IS 40%.  
ADDITIONAL 9% OF LOT SIZE WILL DETERMINE ALLOWABLE HARDSCAPE SURFACE

HARDSCAPE	WALKWAYS/ GRAVEL PATHS	UNCOVERED PATIO	DECKS/ STAIRS	RETAINING WALLS	TOTAL HARDSCAPE	% HARDSCAPE
EXISTING HARDSCAPE	380 SF	2,504.5 SF	51 SF	129.1 SF	3,064.6 SF	15.7 %
PROPOSED HARDSCAPE	380 SF	2,365.5 SF	97.5 SF	129.1 SF	2,972.1 SF	15.2 %
CHANGE	0 SF	-139 SF	+46.5 SF	0 SF	-92.5 SF	-0.5 %
% ALLOWED HARDSCAPE + BORROWED SF FROM LOT					556.4 SF	2.9 %
TOTAL ALLOWABLE HARDSCAPE					2,399.2 SF ALLOWABLE	11.9 %

NOTE: CONTOURS TAKEN FROM MERCER ISLAND GIS.

## GROSS FLOOR AREA

LOT SIZE	= 19,475 SF
GFA THRESHOLD	= 12,000 SF OR 40% (7,790 SF) WHICHEVER IS LESS
EXISTING RESIDENCE GFA:	
MAIN FLOOR	= 2,743.1 SF
SECOND FLOOR	= 2,106.7 SF
ATTACHED GARAGE	= 1,054.5 SF
TOTAL EXISTING:	= 5,904.3 SF
EXISTING GFA IS 5,904.3 SF OR 30.3%	
PROPOSED RESIDENCE GFA:	
MAIN FLOOR	= 2,757.5 SF
UPPER FLOOR	= 2,106.7 SF
ATTACHED GARAGE	= 1,040.1 SF
DETACHED SUNROOM	= 200 SF
TOTAL PROPOSED:	= 6,104.3 SF
PROPOSED GFA IS 6,104.3 SF OR 31.3%	

## 2018 WSEC CREDITS

CREDITS REQUIRED: ADDITIONS LESS THAN 500 SF.  
15 SF NEW CONDITIONS SPACE  
TOTAL CREDITS REQUIRED: 1.5 CREDITS

CREDITS	OPTION	DESCRIPTION
1.0	5.3	GAS WATER HEATER W/ EF > 0.91
0.5	1.3	VERTICAL FENESTRATION U=28 FLOOR R-38 OR R-10 FOR SLAB ON GRADE
TOTAL CREDITS SELECTED: 1.5		

## EXISTING WALL INSULATION

EXISTING CEILING, WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION PROVIDED THAT THESE CAVITIES ARE FILLED WITH INSULATION WHILE MAINTAINING CODE REQUIRED VENTILATION CLEARANCES. 2X4 FRAMED WALLS SHALL BE INSULATED TO A MINIMUM OF R-15 AND 2X6 FRAMED WALLS SHALL BE INSULATED TO A MINIMUM OF R-21.

## BUILDING AREA

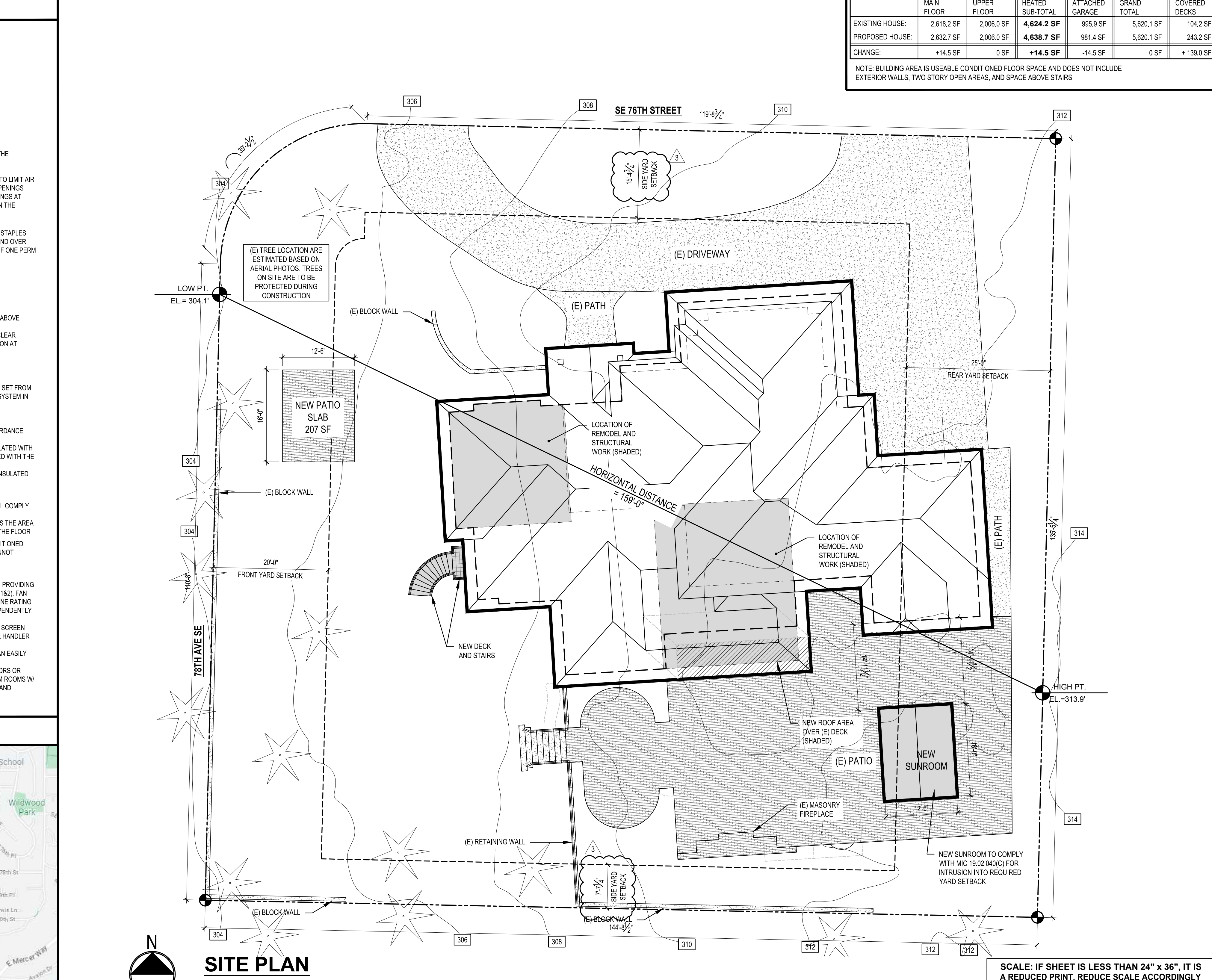
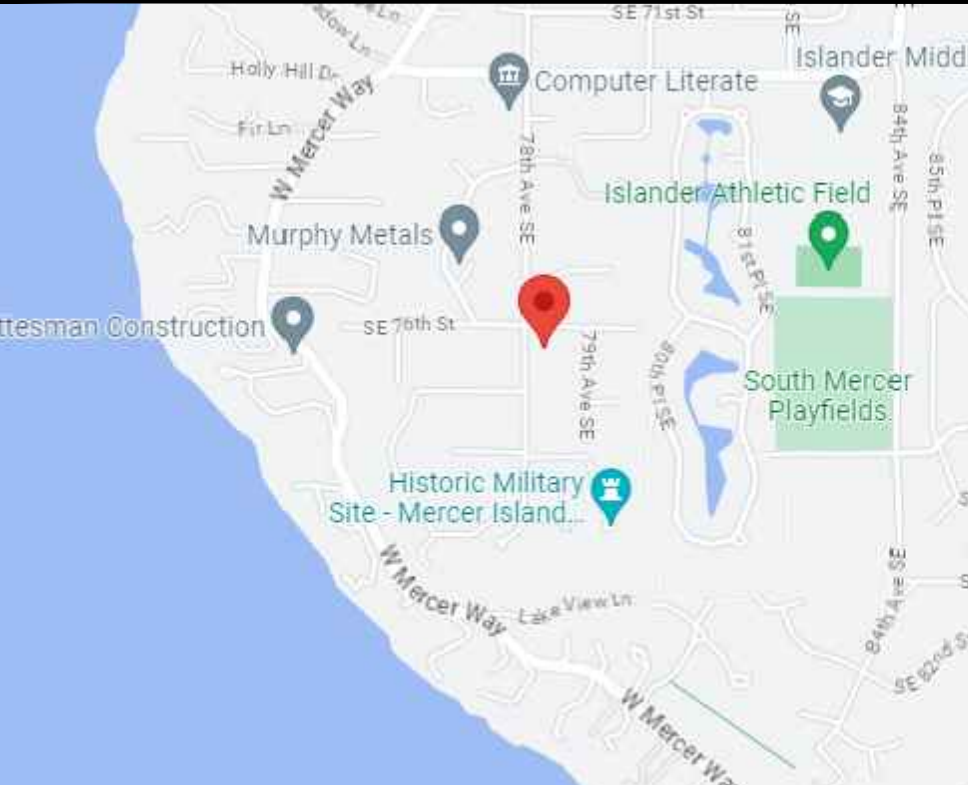
	MAIN FLOOR	UPPER FLOOR	HEATED SUB-TOTAL	ATTACHED GARAGE	GRAND TOTAL	COVERED DECKS
EXISTING HOUSE:	2,618.2 SF	2,006.0 SF	4,624.2 SF	995.9 SF	5,620.1 SF	104.2 SF
PROPOSED HOUSE:	2,632.7 SF	2,006.0 SF	4,638.7 SF	981.4 SF	5,620.1 SF	243.2 SF
CHANGE:	+14.5 SF	0 SF	+14.5 SF	-14.5 SF	0 SF	+139.0 SF

NOTE: BUILDING AREA IS USEABLE CONDITIONED FLOOR SPACE AND DOES NOT INCLUDE EXTERIOR WALLS, TWO STORY OPEN AREAS, AND SPACE ABOVE STAIRS.

## ENERGY NOTES

- CODE: 2018 W.E.C. & 2018 IRC, WAC 51-11R  
CLIMATIC ZONE: ZONE #4C  
SPACE HEAT TYPE: NATURAL GAS, IN-FLOOR RADIANT HEAT  
INSULATION VALUES: WALLS: R-21; FLAT ATTICS/CEILINGS: R-49; VAULTED CEILINGS: R-38; FLOORS (OVER UNHEATED SPACES): R-30; SLAB-ON-GRADE: R-10  
THERMAL STANDARDS FOR OPENINGS: UNLIMITED OPTION  
AIR INFILTRATION: MANUFACTURED DOORS/WINDOWS: CONFORM TO SECTION R402.4.3 OF THE WASHINGTON STATE ENERGY CODE  
EXTERIOR JOINTS/OPENINGS: SEAL, CAULK, GASKET OR WEATHERSTRIP TO LIMIT AIR LEAKAGE AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF; OPENINGS AT PENETRATIONS OF UTILITY SERVICES AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE  
WALLS: VAPOR RETARDER BONDED TO BATT INSULATION; INSTALL WITH STAPLES NOT MORE THAN 8 INCHES ON CENTER AND AND WITH A GAP BETWEEN AND OVER FRAMING NOT GREATER THAN 1/16 OF AN INCH. OR, VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE)  
ATTICS/CEILINGS: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE). INSTALL CONTINUOUSLY  
CRAWL SPACE: 6 MIL POLYETHYLENE  
VENTILATION: ATTICS WITH LOOSE FILL: N.A. BAFFLE VENT OPENINGS TO DEFLECT AIR ABOVE INSULATION SURFACE  
ENCLOSED JOIST OR RAFTER SPACES: PROVIDE MINIMUM OF ONE INCH CLEAR VENTED AIR SPACE ABOVE INSULATION, TAPER OR COMPRESS INSULATION AT PERIMETER TO INSURE PROPER VENTILATION  
HEATING & COOLING: IN-FLOOR RADIANT HEATING  
TEMP. CONTROL: FOR HEATING AND COOLING, THERMOSTAT SHALL BE CAPABLE OF BEING SET FROM 55-85 DEGREES FAHRENHEIT AND OF OPERATING THE HEATING/COOLING SYSTEM IN SEQUENCE. THERMOSTAT TO BE AUTOMATIC DAY/NIGHT SETBACK TYPE.  
DUCT INSULATION: THERMALLY INSULATE ALL PLENUMS, DUCTS AND ENCLOSURES IN ACCORDANCE WITH TABLE R403.3.1 OF THE WASHINGTON STATE ENERGY CODE  
a. ALL HEATING DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH A MIN. OF R-8. ALL SEAM JOINTS SHALL BE TAPED, SEALED AND FASTENED WITH THE MINIMUM OF FASTENERS PER WSEC.  
b. DUCTS WITHIN A CONCRETE SLAB OR IN THE GROUND SHALL BE INSULATED TO R-10, WITH INSULATION DESIGNED TO BE USED BELOW GRADE.  
LIGHTING: RECESSED LIGHTING FIXTURES INSTALLED IN BUILDING ENVELOPE SHALL COMPLY WITH WSEC PROVISIONS AND SHALL BE IC LISTED.  
ALL ROOMS WITHOUT GLAZING SHALL HAVE ARTIFICIAL LIGHTING ACROSS THE AREA OF THE ROOM PRODUCING AN AVERAGE 6 FOOTCANDLES AT 30" ABOVE THE FLOOR  
PIPE INSULATION: NON RECIRCULATING HOT AND COLD WATER PIPES LOCATED IN UNCONDITIONED SPACE SHALL BE INSULATED TO R-3 MIN. PLUMBING OR MECHANICAL CANNOT DISPLACE THE REQUIRED INSULATION.  
WHOLE HOUSE VENTILATION:  
VENTILATION:  
WHOLE HOUSE VENTILATION SYSTEM:  
a. WHOLE HOUSE VENTILATION SHALL BE PROVIDED BY EXHAUST FAN PROVIDING 105 CFM RUNNING CONTINUOUSLY PER 2012 IRC TABLE M1507.3.3 (1&2). FAN SHALL BE CONNECTED TO A 24 HOUR CLOCK TIMER AND HAVE A SONE RATING OF LESS THAN 1.0. VENTILATION SHALL BE ABLE TO OPERATE INDEPENDENTLY OF HEATING SYSTEM.  
b. SYSTEM SHALL HAVE A 5'0" SMOOTH FRESH AIR DUCT W/ LOUVER & SCREEN CONNECTED TO THE RETURN AIR STREAM 4' UPSTREAM OF THE AIR HANDLER AND INSULATED W/ R-4 MIN IN HEATED AREAS.  
c. SHALL HAVE A FILTER WITH A MERV OF AT LEAST 6 INSTALLED IN AN EASILY ACCESSIBLE LOCATION.  
d. FRESH AIR VENT SHALL BE LOCATED AWAY FROM SOURCES OF ODORS OR FUMES, MIN 10' FROM PLUMBING OR APPLIANCE VENTS, AWAY FROM ROOMS W/ FUEL BURNING APPLIANCES, AND OUT OF ATTICS, CRAWL SPACES, AND GARAGES.

## VICINITY MAP



## SITE PLAN

SCALE: 1" = 10'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PHASE 2 CORRECTION 1 1/23/2024

STURMAN ARCHITECTS  
9-103rd Ave NE Suite 203  
Bellevue, WA 98004  
TEL: 425.451.7003  
REGISTERED ARCHITECT  
BRADLEY L. STURMAN  
STATE OF WASHINGTON

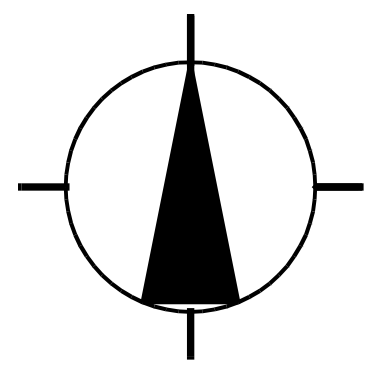
DAY RESIDENCE  
PHASE 2 - PERMIT REVISION SET  
7825 SE 76TH ST  
MERCER ISLAND, WA 98040

SITE PLAN  
REVISIONS:  
2023-1-13 CORRECTION 1  
2023-3-31 PERMIT REVISION  
2024-1-23 REVISION SUB 2  
PLOT DATE: 1/23/2024  
DRAWN BY: JM  
CHECKED BY: BJS  
SHEET: A1.0

SW 1/4, SE 1/4, SECTION 25, TOWNSHIP 24 NORTH, RANGE 04 EAST, W.M.

EXISTING MON IN CASE, P.C. MON  
VISITED APRIL 5, 2022

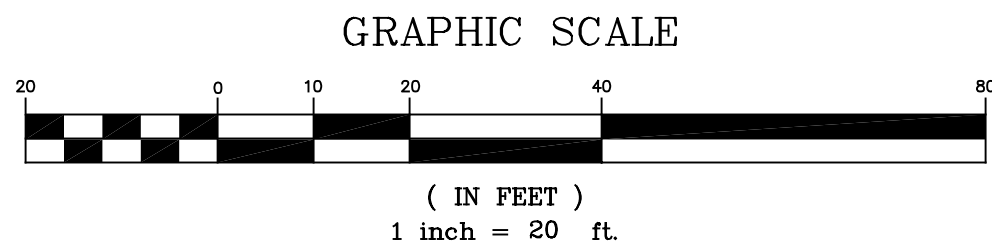
EXISTING MON IN CASE  
VISITED APRIL 4, 2022



**NORTH**  
SCALE: 1" = 20'

BASIS OF BEARING  
CENTERLINE BEARING OF SE 75TH PLACE BETWEEN  
78TH AVE SE AND THE PC TO THE EAST  
BEARING: N 88° 45' 04" W; DISTANCE=128.53' PLAT AND MEAS.  
REFERENCES: PLAT OF MERCER TERRACE NO.2  
RECORDED IN VOL 71 OF PLATS, PAGE 79

CITY OF MERCER ISLAND SHORT PLAT NO. MI SP 87-06-08  
RECORDING NO. 8706159002



**LEGEND:**

- ⊙ Set 1/2" Rebar w/YPC #52084
- ✕ Found Tack in Lead
- ⊗ Exist. Mon. in Case
- ⊙ Found Rebar
- (Meas) Measured Distance
- (P) Plat Bearing or Distance
- (R) Record Bearing or Distance

**LEGAL DESCRIPTION**

LOT 'A'. CITY OF MARCER ISLAND SHORT NO. MI SP 87-0608, AS RECORDED IN VOLUME 57 OF SURVEYS, PAGES 158 TO 158A, UNDER RECORDING NO. 8709159002, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**NOTES:**

1. TITLE REPORT WAS NOT PROVIDED ON THIS SURVEY. PROPERTY MAY BE SUBJECT TO EASEMENTS, RIGHTS, COVENANTS, RESTRICTIONS, PROVISIONS OF RECORD, IF ANY.
2. THIS SURVEY WAS ACCOMPLISHED USING A ONE SECOND NIKON TOTAL STATION THEODOLITE AND ELECTRONIC MEASURING UNIT. POSITIONS WERE ADJUSTED USING COMPASS RULE AND ALL DISTANCES ARE REDUCED TO HORIZONTAL. CLOSURES MEET OR EXCEED THE REQUIRED STANDARDS OF ACCURACY FOR THE CITY OF MERCER ISLAND OR STATE OF WASHINGTON. WAC 332-130-090.
3. THE DRAWING SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED AND/OR DEVELOPED BY THE THE SURVEYOR IN HIS FIELD WORK, OFFICE WORK, OR RESEARCH.

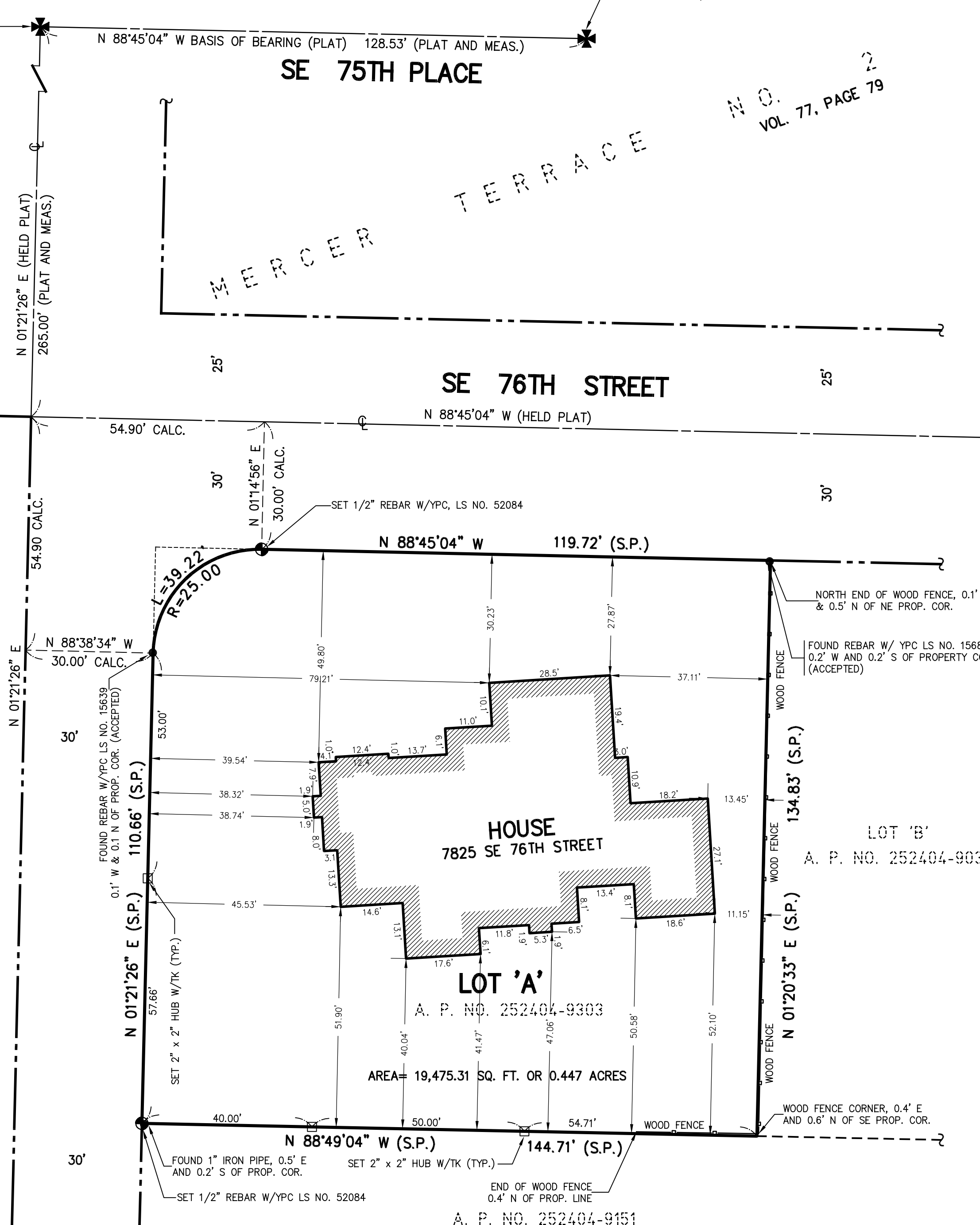
78TH AVENUE SE

SE 75TH PLACE

MERCER TERRACE

SE 76TH STREET

N.O. 2  
VOL. 77, PAGE 79



**RECORDER'S CERTIFICATE**

Filed for record this \_\_\_\_\_ day of \_\_\_\_\_, 2022, at \_\_\_\_\_ M. in book \_\_\_\_\_ of \_\_\_\_\_ at the request of HONG LIEU.

\_\_\_\_\_  
Manager

\_\_\_\_\_  
Supt. of Records

**SURVEYOR'S CERTIFICATE**

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of BOB AND JULIE DAY.

Hong Lieu, P.L.S. No. 52084

CLIENT

**BOB AND JULIE DAY**

**BOUNDARY SURVEY**  
LOT 'A', MI SP 87-06-08, RE. NO. 8709159002  
7825 SE 76TH STREET  
MERCER ISLAND, WASHINGTON 98040

**TRAVERSE LAND SURVEYING AND MAPPING**

Boundaries, A.L.T.A. Surveys, Topographic, Lot Line  
Adjustments, Short Plats, Unit Sub-Division

14745 SE 187TH CT \* RENTON, WASHINGTON 98058 \* TEL: 206-949-0001

Drawn by: DBA	Date: MAY. 2022	Job No. 2022-211
Checked by: KT	Scale: 1"=20'	Sheet 1 of 1

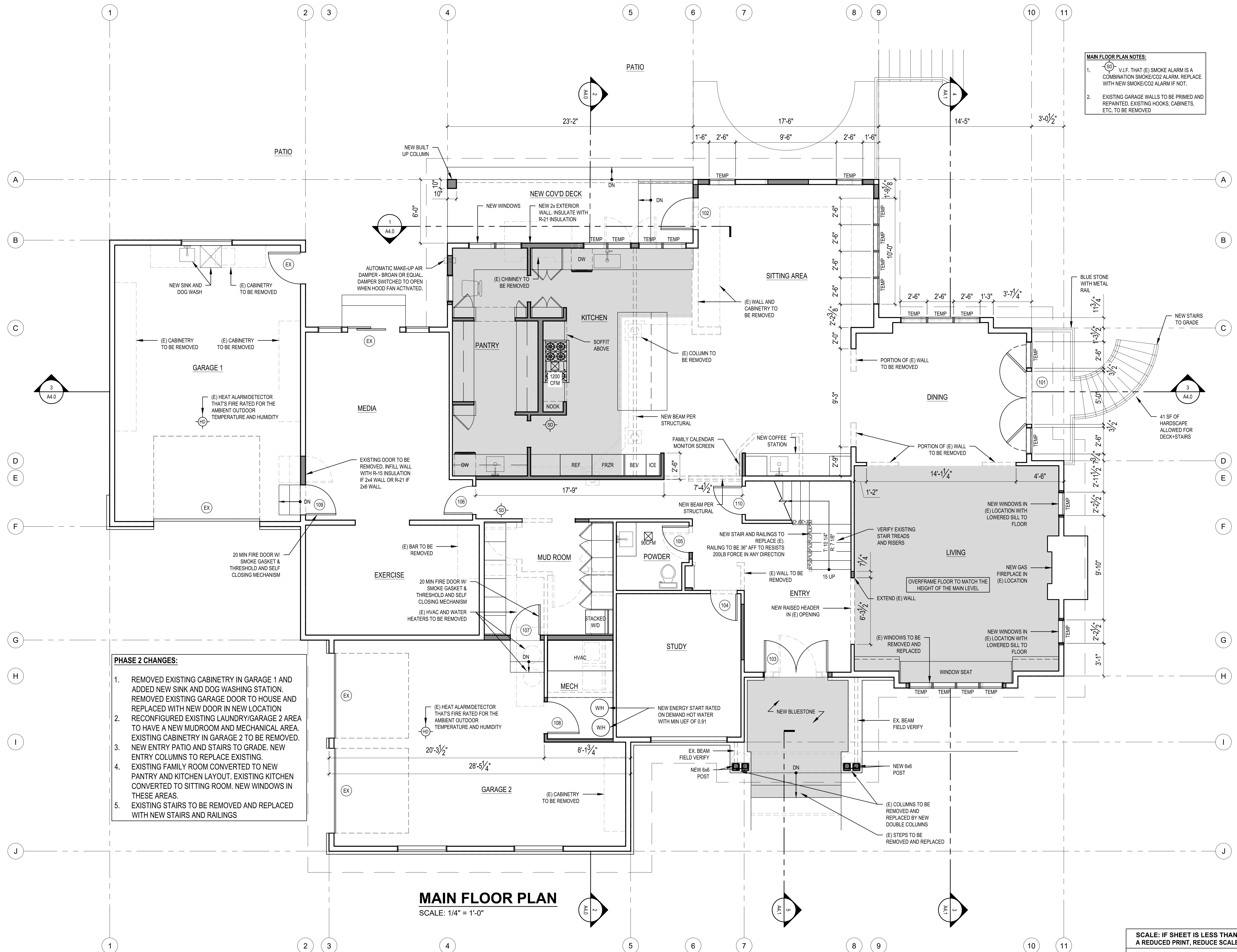


**MAIN FLOOR PLAN NOTES:**

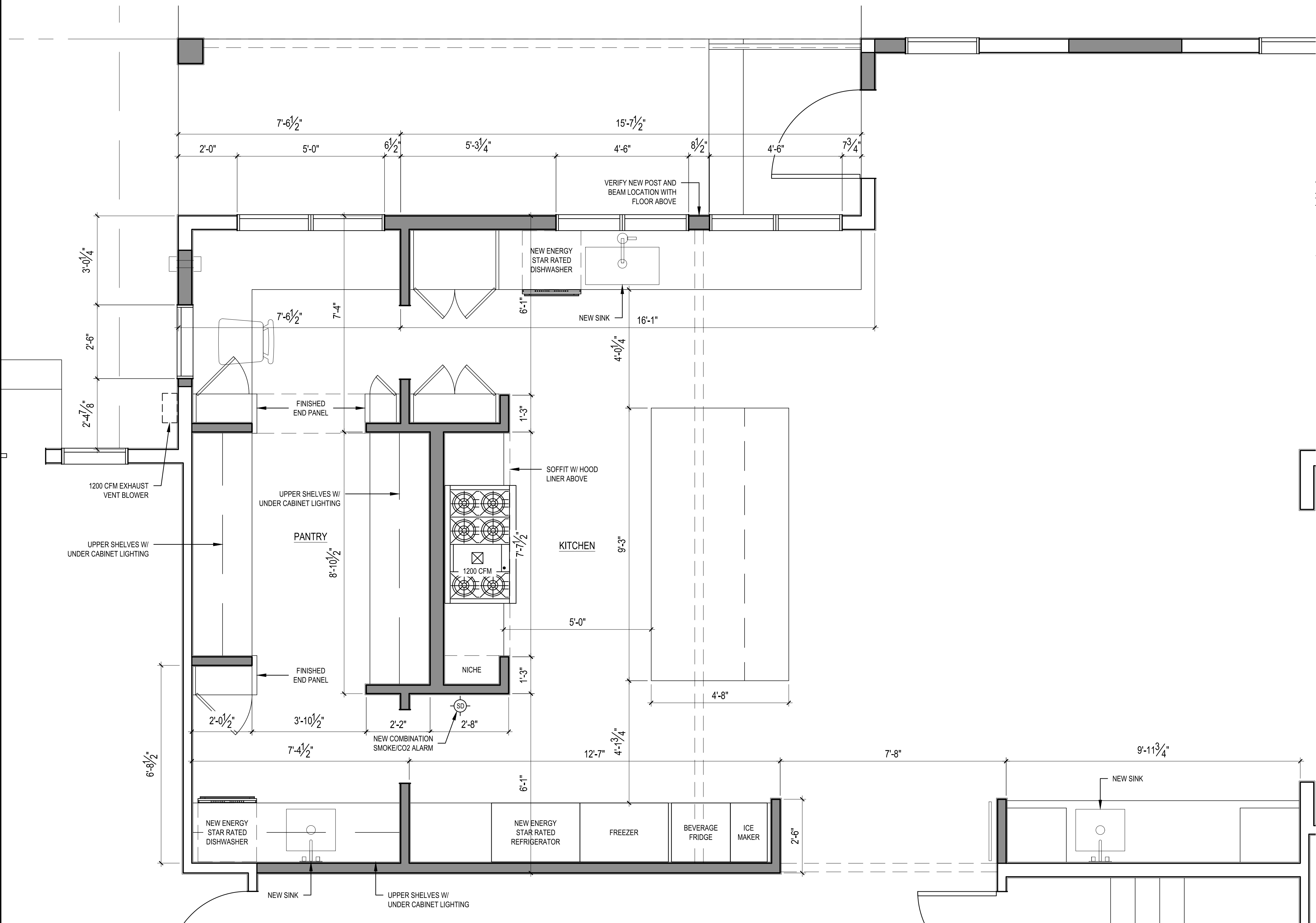
- V.I.F. THAT (E) SMOKE ALARM IS A COMBINATION SMOKE/CO2 ALARM, REPLACE WITH NEW SMOKE/CO2 ALARM IF NOT.
- EXISTING GARAGE WALLS TO BE PRIMED AND REPAINTED, EXISTING HOOKS, CABINETS, ETC. TO BE REMOVED.

**PHASE 2 CHANGES:**

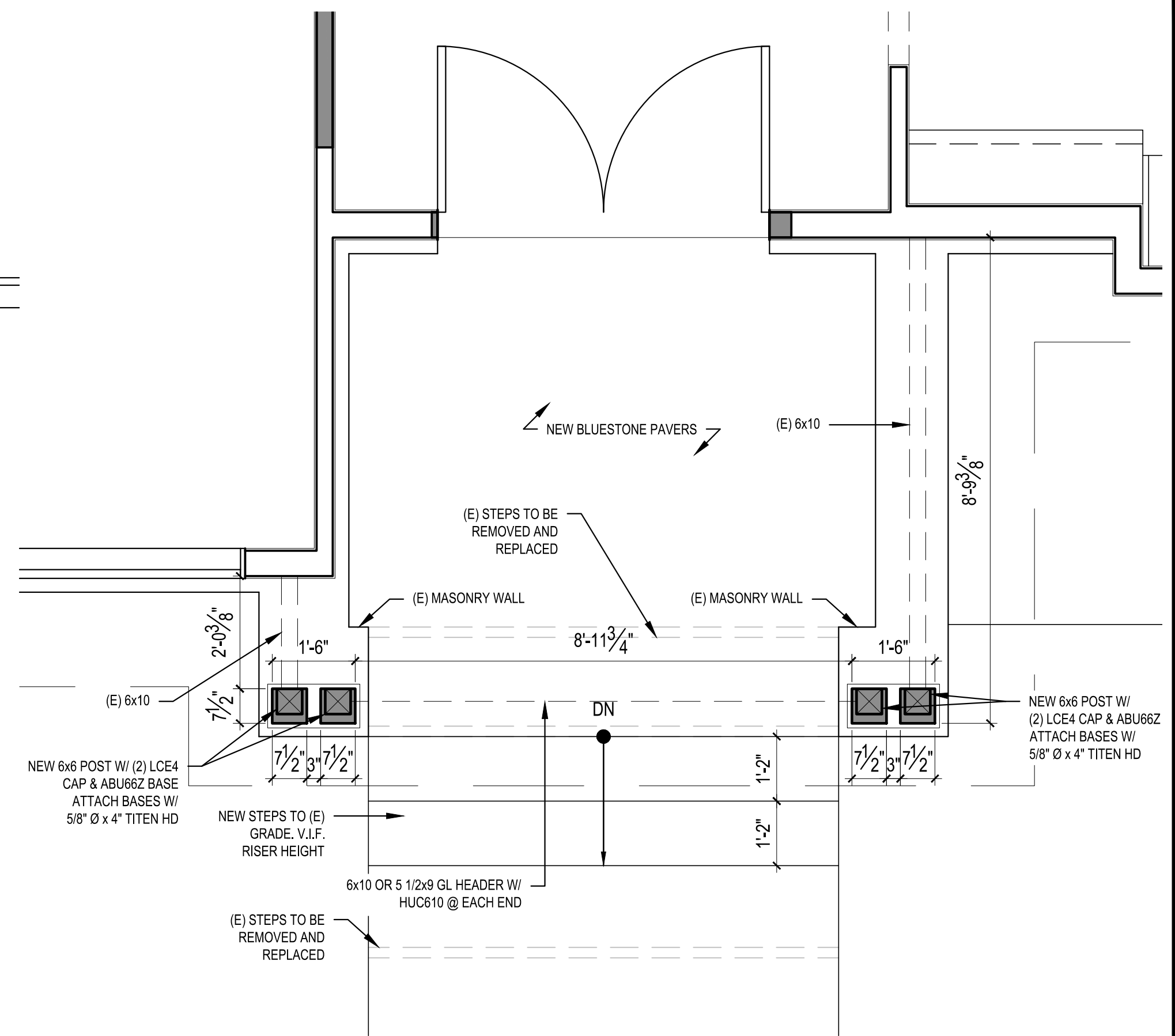
- REMOVED EXISTING CABINETS IN GARAGE 1 AND ADDED NEW SINK AND DOG WASHING STATION. REMOVED EXISTING GARAGE DOOR TO HOUSE AND REPLACED WITH NEW DOOR IN NEW LOCATION
- RECONFIGURED EXISTING LAUNDRY/GARAGE 2 AREA TO HAVE A NEW MUDROOM AND MECHANICAL AREA. EXISTING CABINETS IN GARAGE 2 TO BE REMOVED.
- NEW ENTRY PATIO AND STAIRS TO GRADE. NEW ENTRY COLUMNS TO REPLACE EXISTING.
- EXISTING FAMILY ROOM CONVERTED TO NEW PANTRY AND KITCHEN LAYOUT. EXISTING KITCHEN CONVERTED TO SITTING ROOM. NEW WINDOWS IN THESE AREAS.
- EXISTING STAIRS TO BE REMOVED AND REPLACED WITH NEW STAIRS AND RAILINGS



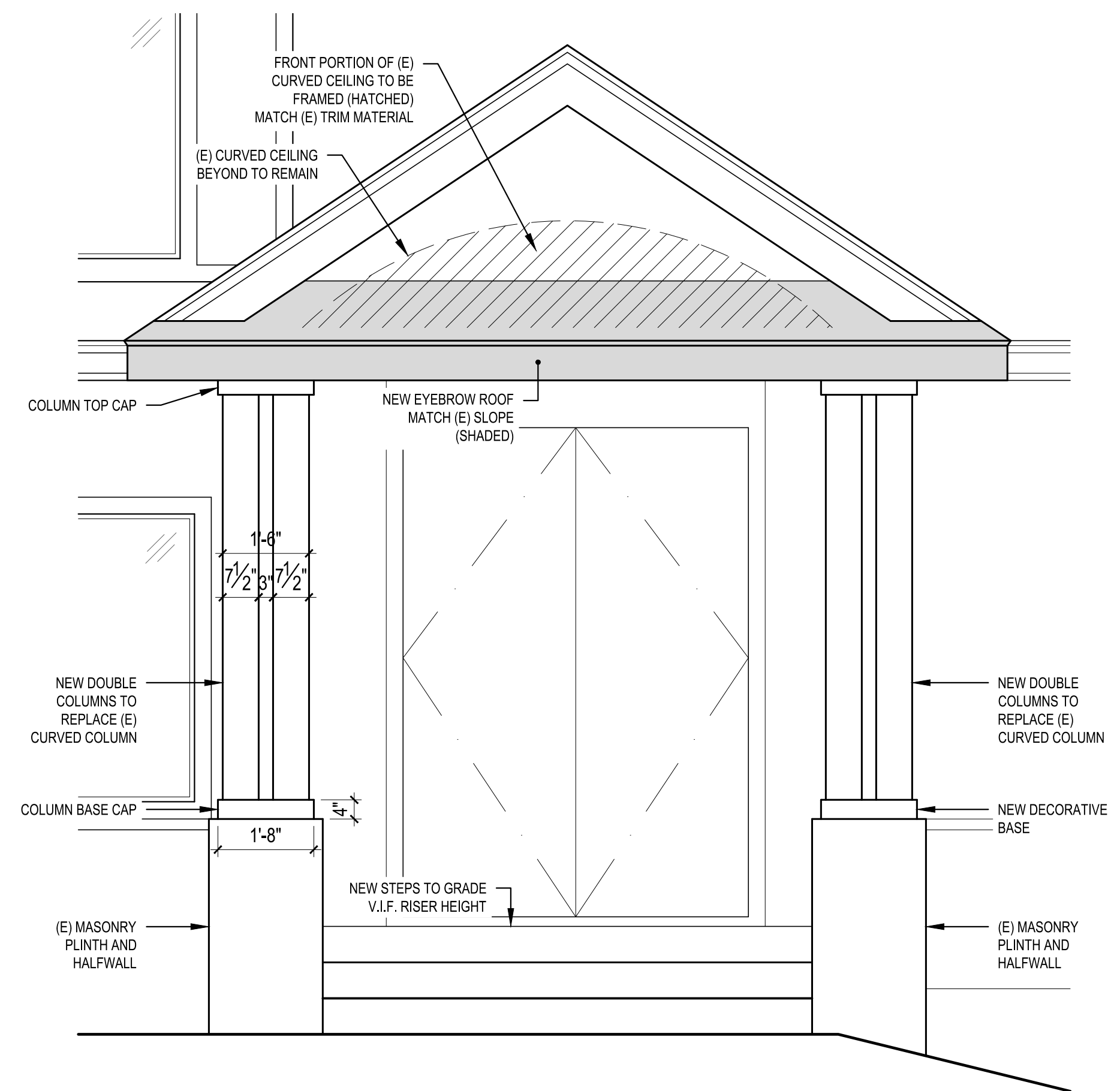
**MAIN FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**KITCHEN PLAN**  
SCALE: 1/2" = 1'-0"



**ENTRY PLAN**  
SCALE: 1/2" = 1'-0"



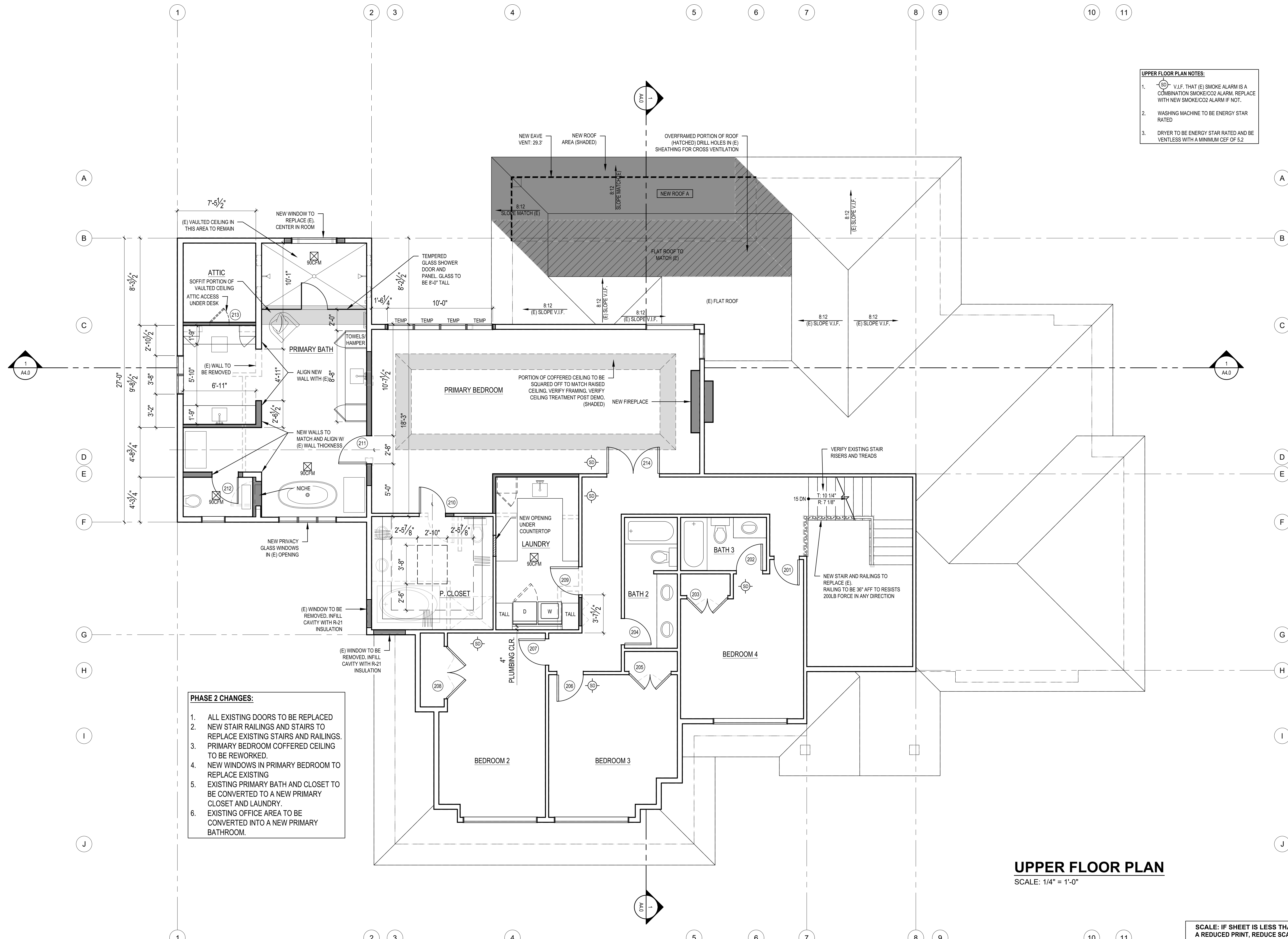
**ENTRY ELEVATION**  
SCALE: 1/2" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PHASE 2 CORRECTION 1 1/23/2024

REVISIONS:	DATE	DESCRIPTION
1	2023-1-13	CORRECTION 1
2	2023-3-31	PERMIT REVISION
3	2024-1-23	REVISION SUB 2

PLOT DATE: 1/23/2024  
DRAWN BY: JM  
CHECKED BY: BJS

SHEET  
**A2.1**



**UPPER FLOOR PLAN NOTES:**

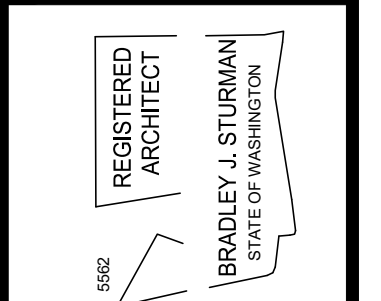
1. V.I.F. THAT (E) SMOKE ALARM IS A COMBINATION SMOKE/CO2 ALARM. REPLACE WITH NEW SMOKE/CO2 ALARM IF NOT.
2. WASHING MACHINE TO BE ENERGY STAR RATED
3. DRYER TO BE ENERGY STAR RATED AND BE VENTLESS WITH A MINIMUM CEF OF 5.2

**PHASE 2 CHANGES:**

1. ALL EXISTING DOORS TO BE REPLACED
2. NEW STAIR RAILINGS AND STAIRS TO REPLACE EXISTING STAIRS AND RAILINGS.
3. PRIMARY BEDROOM COFFERED CEILING TO BE REWORKED.
4. NEW WINDOWS IN PRIMARY BEDROOM TO REPLACE EXISTING
5. EXISTING PRIMARY BATH AND CLOSET TO BE CONVERTED TO A NEW PRIMARY CLOSET AND LAUNDRY.
6. EXISTING OFFICE AREA TO BE CONVERTED INTO A NEW PRIMARY BATHROOM.

**UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PHASE 2 CORRECTION 1 1/23/2024



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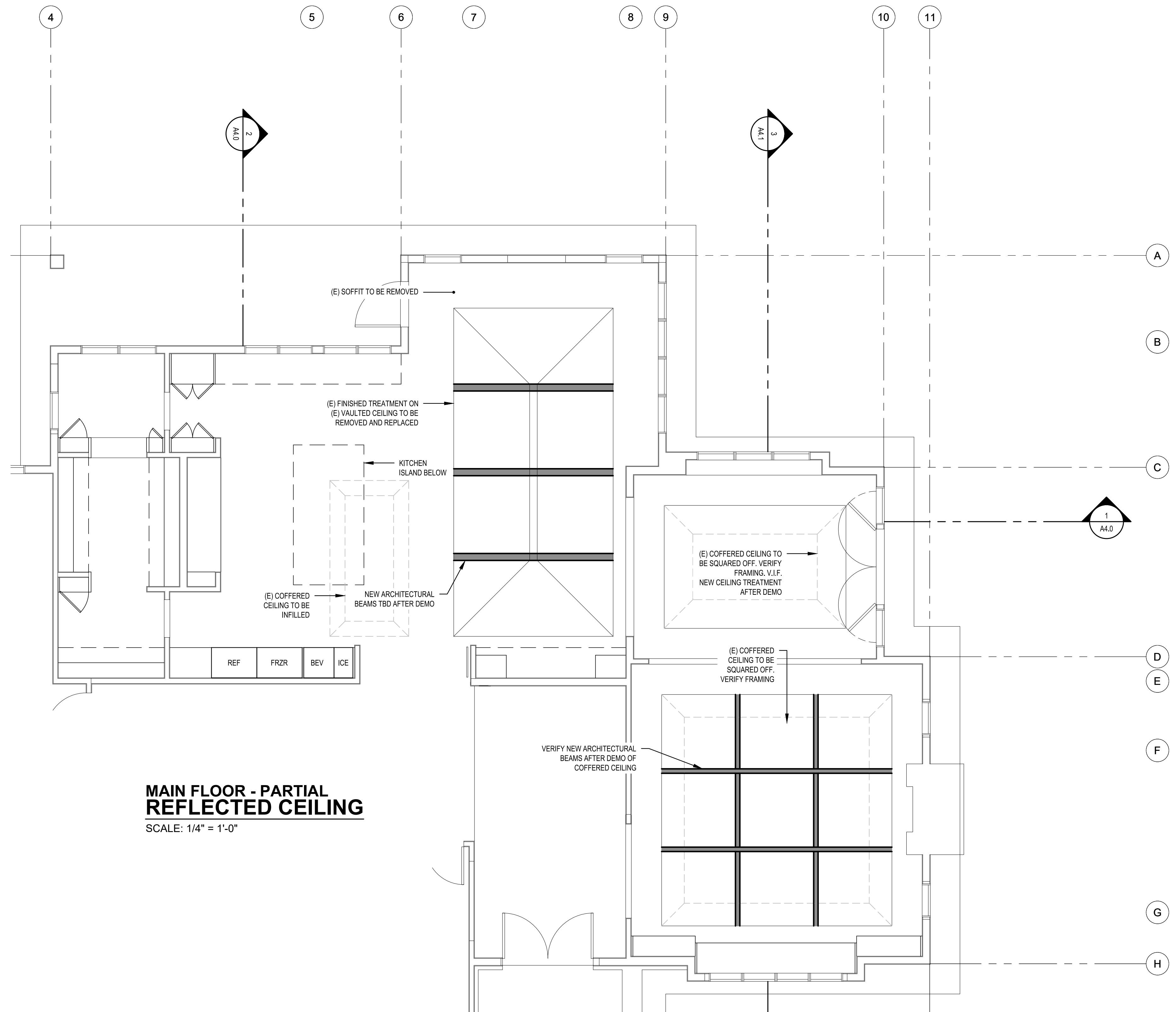
**DAY RESIDENCE**  
**PHASE 2 - PERMIT REVISION SET**  
7825 SE 76TH ST  
MERCER ISLAND, WA 98040

**UPPER FLOOR PLAN**

REVISIONS:	
2023-1-13 CORRECTION 1	
2023-5-31 PERMIT REVISION	
2024-1-23 REVISION SUB 2	

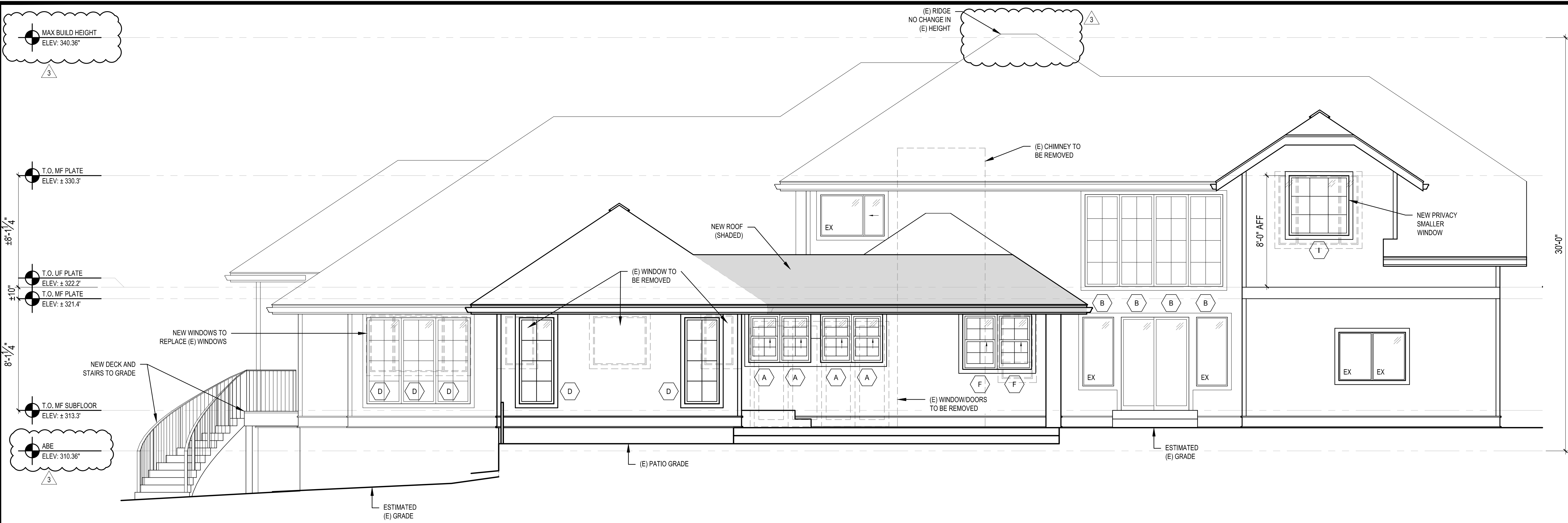
PLOT DATE: 1/23/2024  
DRAWN BY: JM  
CHECKED BY: BJS

SHEET  
**A2.2**

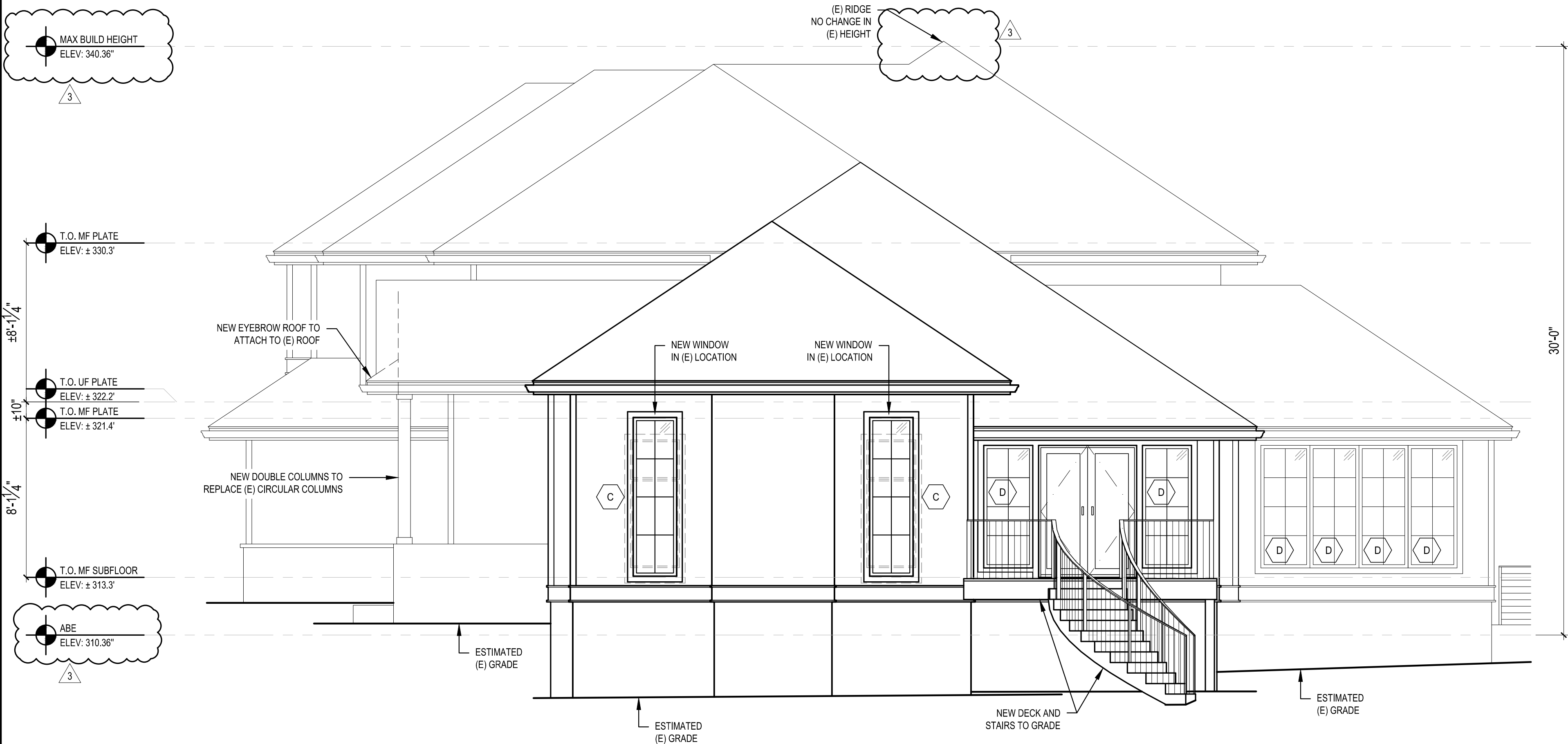


**MAIN FLOOR - PARTIAL REFLECTED CEILING**  
SCALE: 1/4" = 1'-0"

REVISIONS:	
2023-1-13 CORRECTION 1	
2023-3-31 PERMIT REVISION	
2024-1-23 REVISION SUB 2	
PLOT DATE:	1/23/2024
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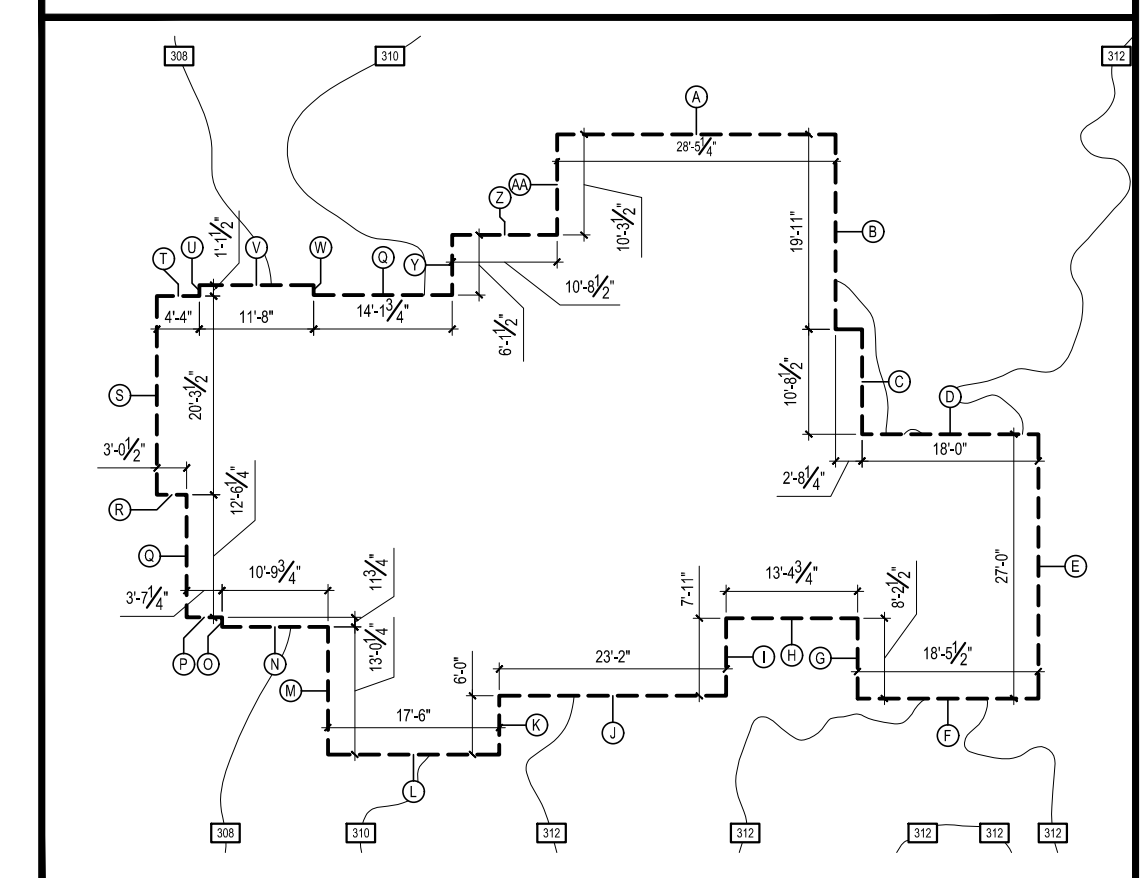


**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**ABE CALCULATIONS** NO SCALE



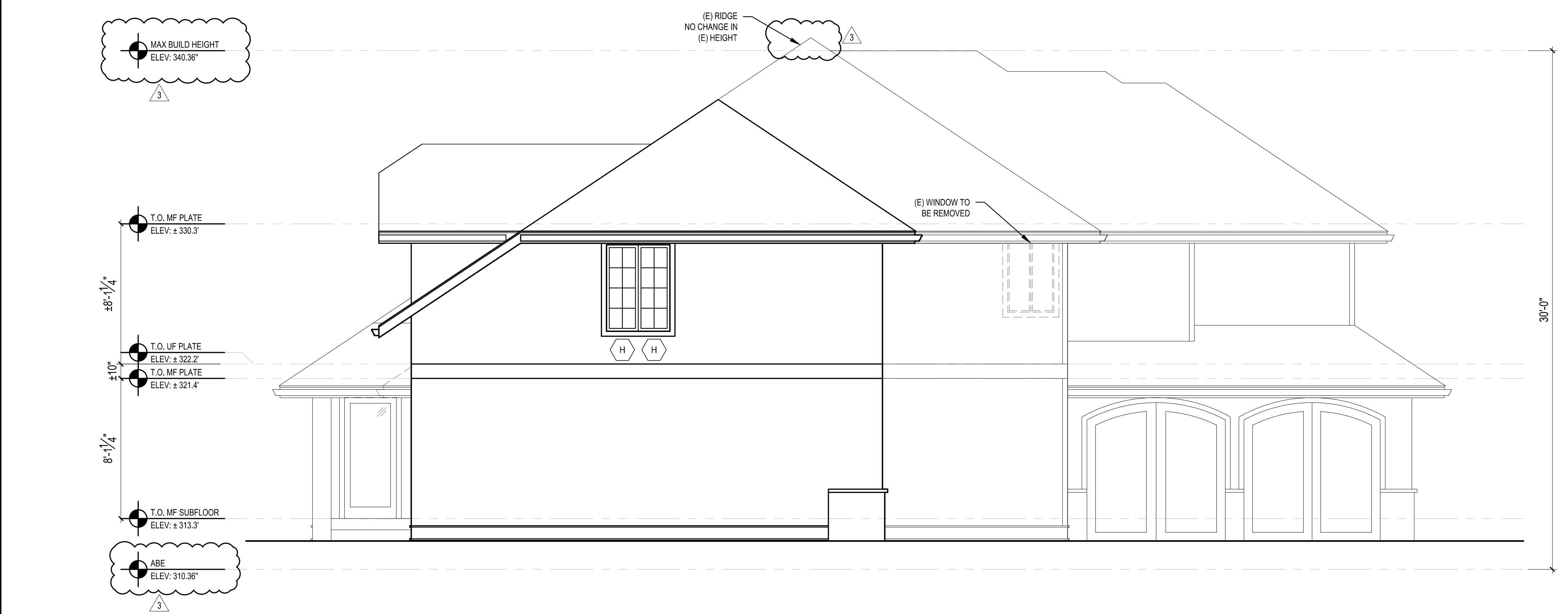
**AVERAGE BUILDING ELEVATION**

	Wall Length	Elevation Pt.	Wall Length X Elev. Pt.
A	28.40	311.10	8835.24
B	19.90	311.20	6192.88
C	10.70	312.00	3338.40
D	2.70	312.00	842.40
E	18.00	313.00	5634.00
F	27.00	312.00	8424.00
G	18.50	312.00	5772.00
H	8.20	312.00	2558.40
I	13.40	312.00	4180.80
J	7.90	312.00	2464.80
K	23.20	311.00	7215.20
L	6.00	309.90	1859.40
M	17.50	308.70	5402.25
N	13.00	307.90	4002.70
O	0.90	307.70	276.93
P	3.60	307.60	1107.36
Q	12.50	307.50	3843.75
R	3.00	307.40	922.20
S	20.30	307.30	6238.19
T	4.40	307.30	1352.12
U	1.10	307.40	338.14
V	11.70	307.90	3602.43
W	1.10	308.50	339.35
X	14.10	309.40	4362.54
Y	6.10	310.10	1891.61
Z	10.70	310.20	3319.14
AA	10.30	310.60	3199.18
	<b>314.20</b>	<b>8365.70</b>	<b>97515.41</b>
97515.41	<b>314.20</b>	Average Building Elevation	

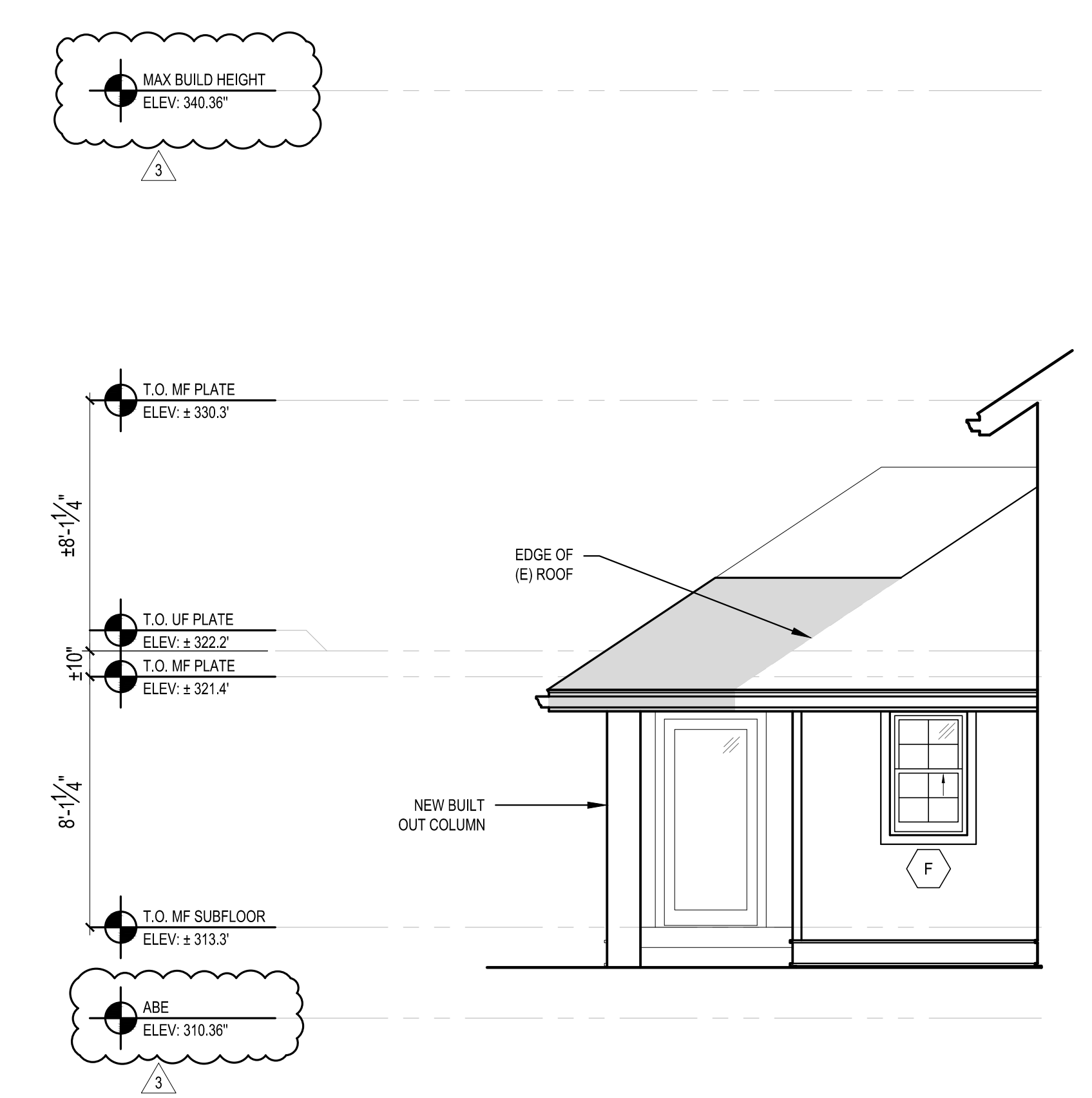
SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PHASE 2 CORRECTION 1 1/23/2024



**3 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**5 @ EXTENDED ROOF EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
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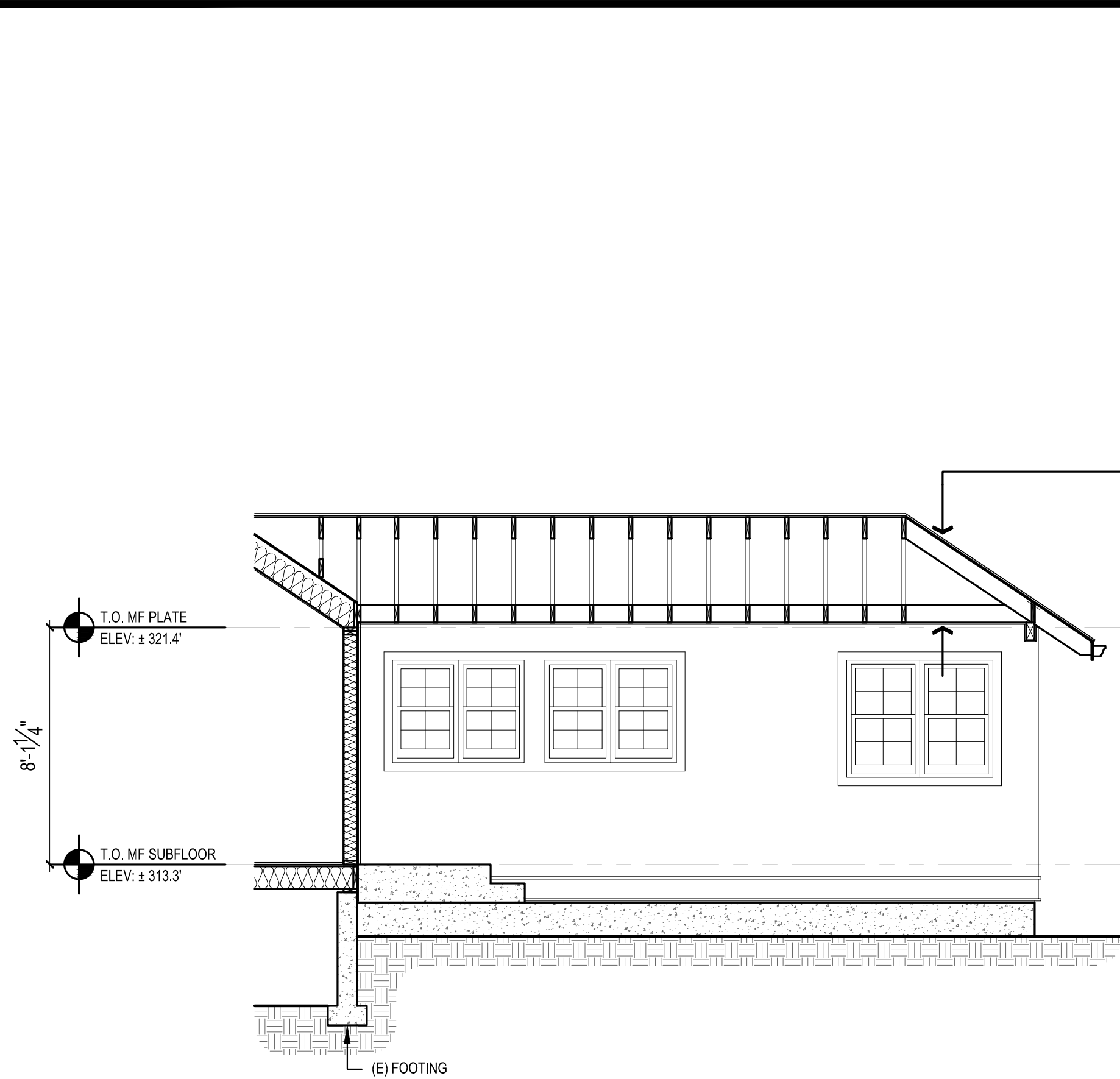
**EXTERIOR ELEVATIONS**

REVISIONS:	2023-13 CORRECTION 1
	2023-31 PERMIT REVISION
	2024-23 REVISION SUB 2

PLOT DATE: 1/23/2024  
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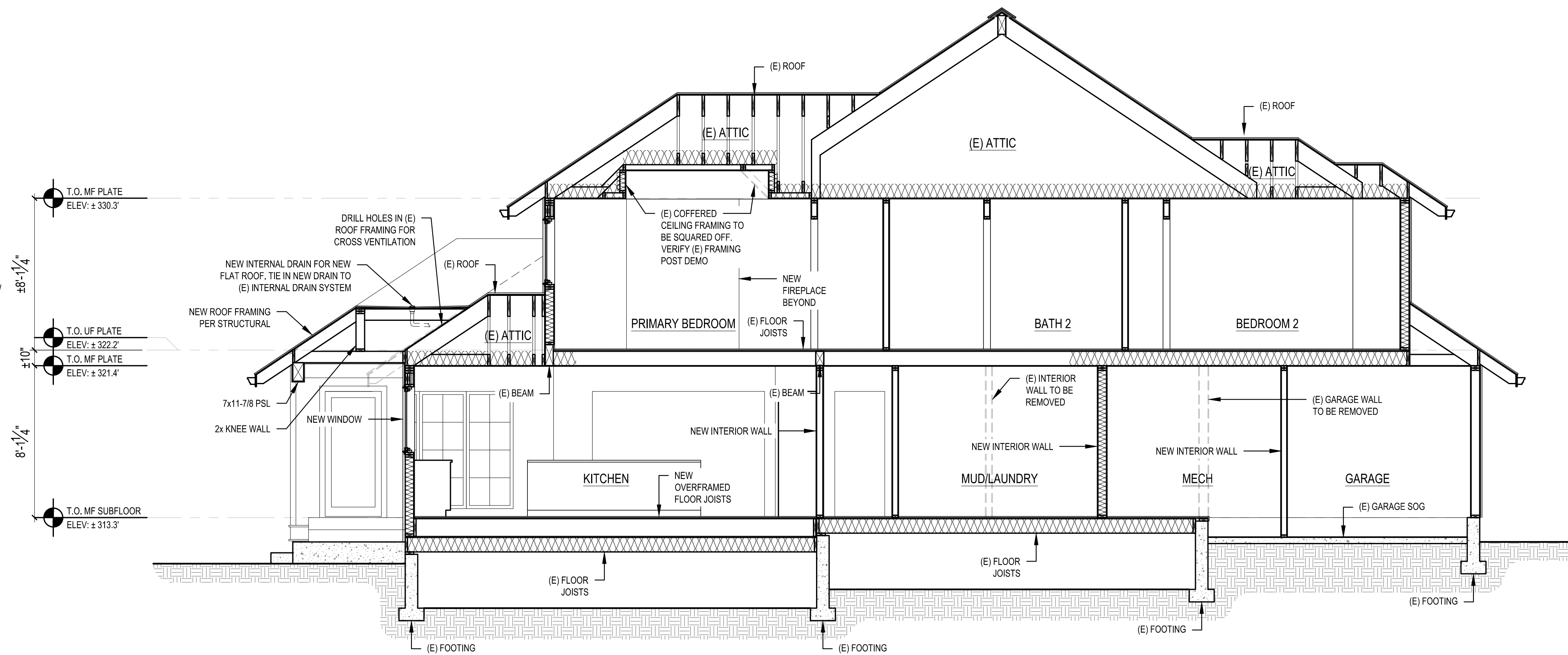
**A3.1**

9- 103rd Ave NE Suite 203  
Bellevue, WA 98004  
TEL: 425.451.7003

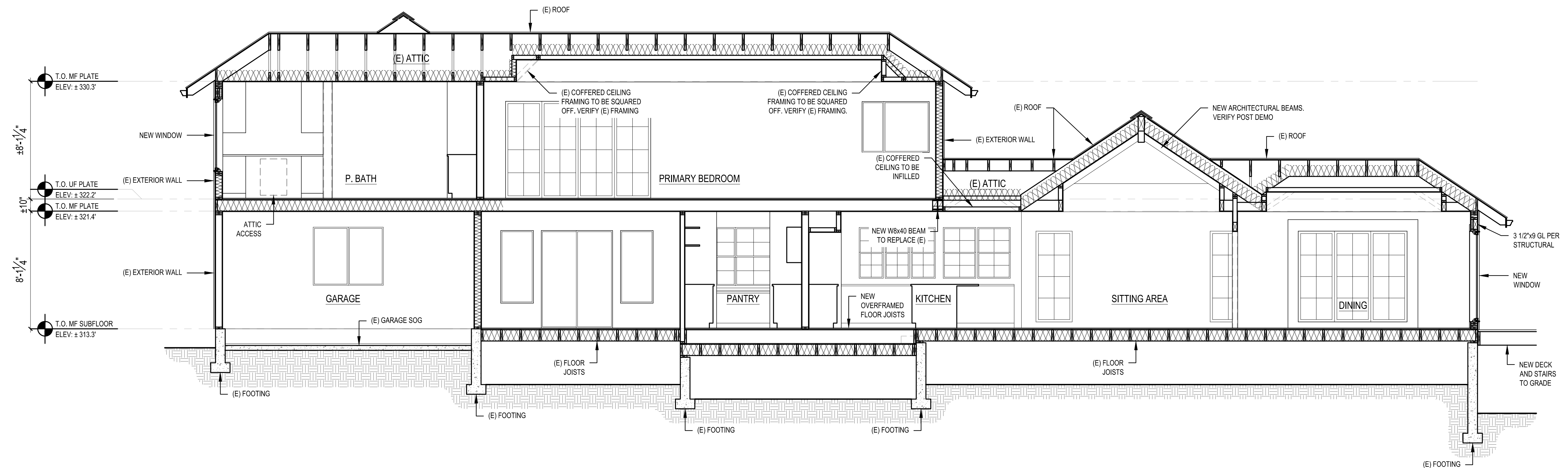


**1 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

ROOF CONSTRUCTION:  
ROOFING TO MATCH (E) OF  
UNDERLAYMENT OR 30# BUILDING FELT OF  
SHEATHING PER STRUCTURAL  
JOISTS PER STRUCTURAL W/  
3/4" T&G CEDAR SOFFIT



**2 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**3 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS  
A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

PHASE 2 CORRECTION 1 1/23/2024

REVISIONS:	
2023-13 CORRECTION 1	
2023-31 PERMIT REVISION	
2024-123 REVISION SUB 2	

PLOT DATE: 1/23/2024

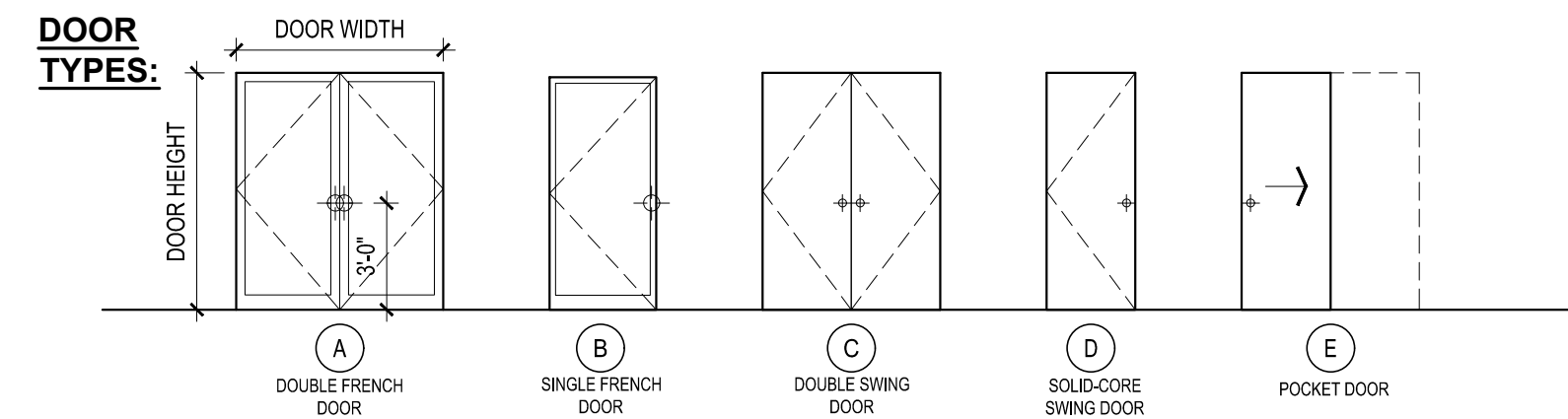
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SHEET

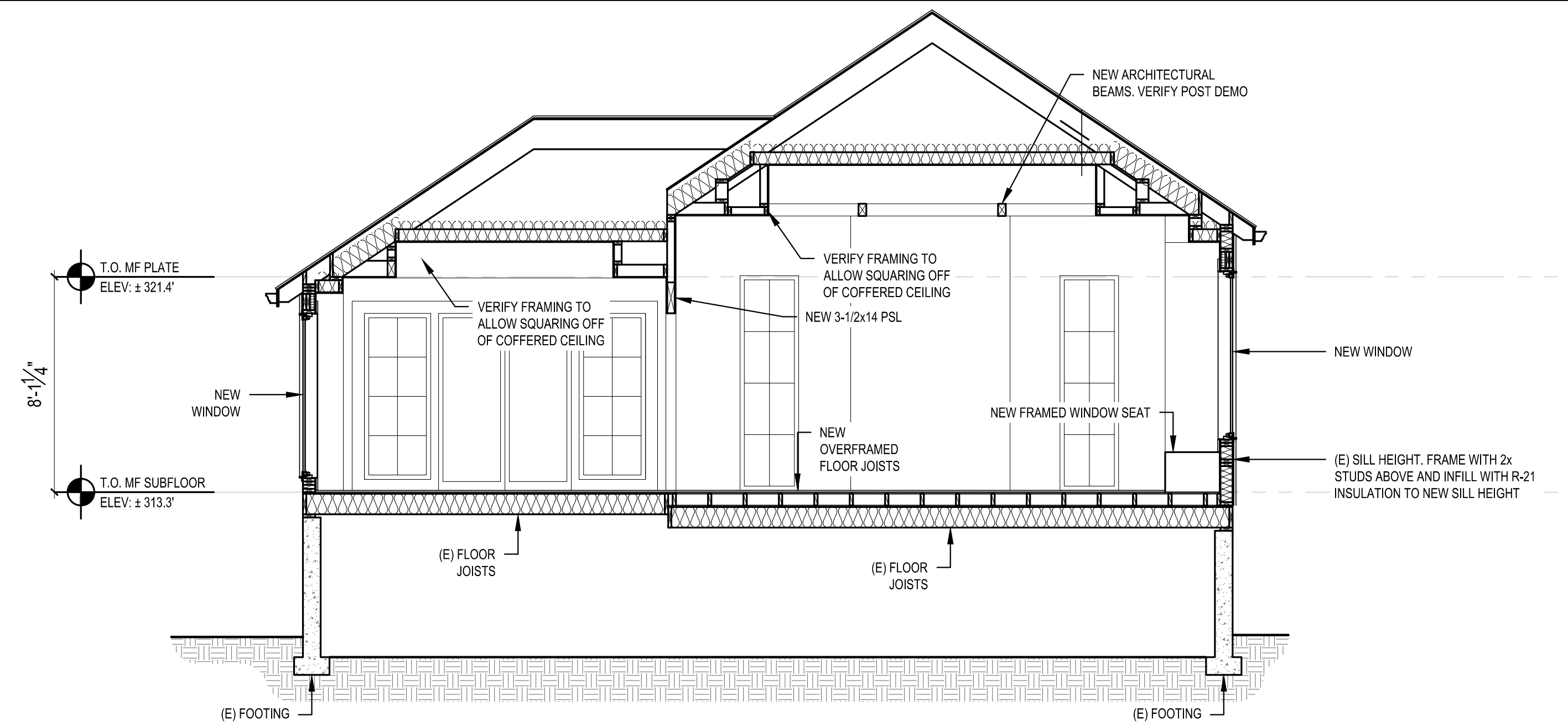
**A4.0**

ROOF VENT CALCULATIONS											
CODE REQUIREMENT			CALCULATIONS				ACTUAL				
DESCRIPTION	SF AREA	REQ. VENTING		VENT TYPE		TOTAL VENT AREA SQ. IN.	SF CONVERT. 1/144	80% EFF FACTOR	TOTAL		
		PER SF AREA		RIDGE	EAVE					X	=
ROOF A ADDITION	296	150	300	10 SQ.IN./FT.		29.3	3.66	2.93	2.93		
				12 SQ.IN./FT.	1.5x1.0" VENT						
				CONTINUOUS							

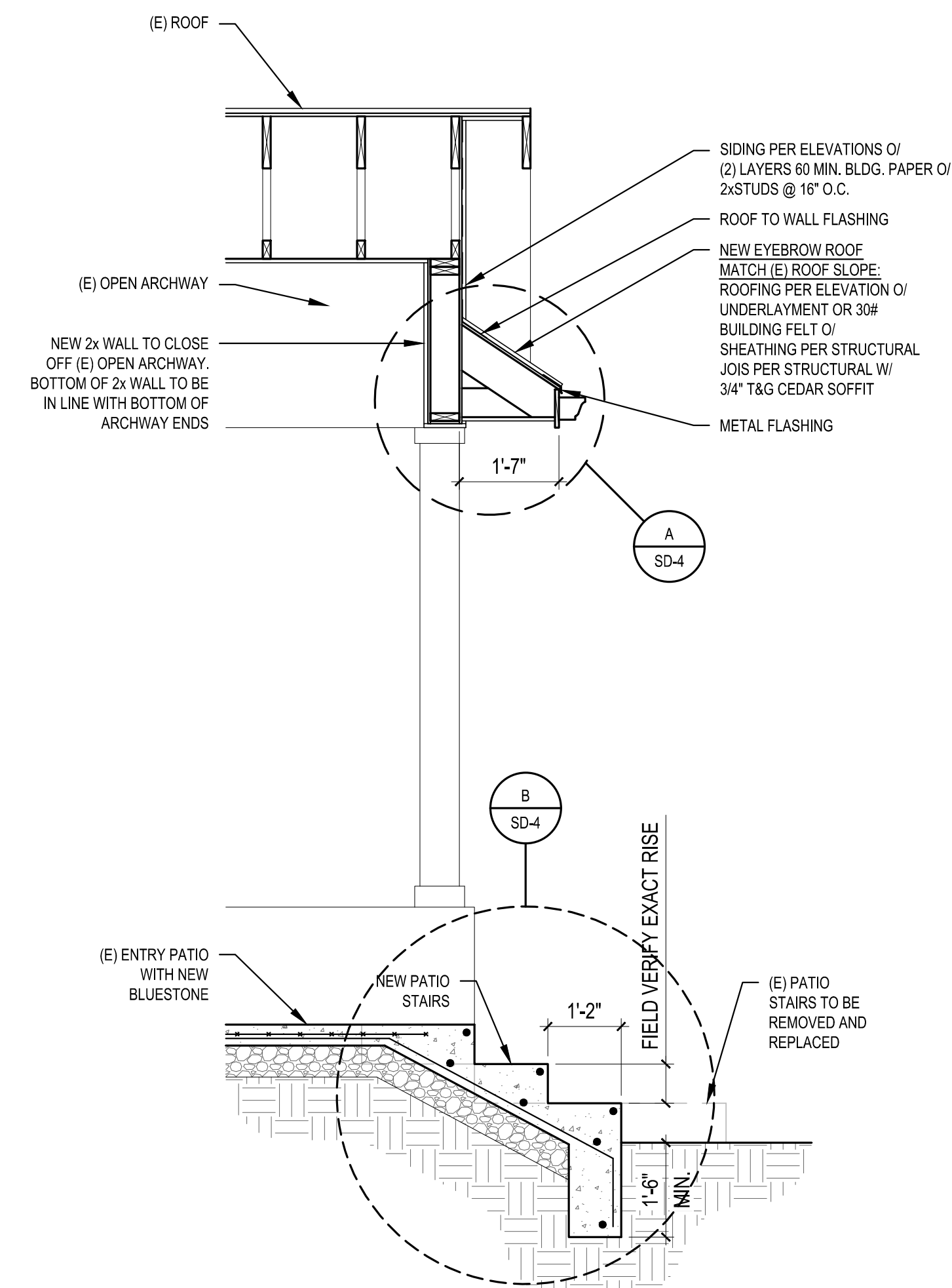


DOOR SCHEDULE									
DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR THK.	U-VAL (MIN.)	REMARKS	
<b>MAIN FLOOR</b>									
101	DINING	PR 2' - 6"	6' - 8"	A	Y	1-3/4"	0.28	GRID. MATCH GRID WITH ADJACENT WINDOWS OR SIMILAR	
102	KITCHEN	2' - 6"	6' - 8"	B	Y	1-3/4"	0.28		
103	ENTRY	PR 3' - 0"	8' - 6"	C		1-3/4"			
104	STUDY	2' - 6"	6' - 8"	D		1-3/4"			
105	POWDER	2' - 6"	6' - 8"	D		1-3/4"			
106	MEDIA	2' - 8"	6' - 8"	A		1-3/4"			
107	LAUNDRY	2' - 10"	6' - 8"	D		1-3/4"		FIRE RATED, SELF CLOSING	
108	MECHANICAL	3' - 0"	6' - 8"	D		1-3/4"			
109	MEDIA	2' - 10"	6' - 8"	D		1-3/4"		FIRE RATED, SELF CLOSING	
110	STAIR CLOSET	2' - 8"	6' - 8"	A		1-3/4"			
<b>UPPER FLOOR</b>									
201	BEDROOM 4	2' - 4"	6' - 8"	D		1-3/4"			
202	BATH 3	2' - 6"	6' - 8"	D		1-3/4"			
203	BEDROOM 4	PR 2' - 0"	6' - 8"	C		1-3/4"			
204	BATH 2	2' - 6"	6' - 8"	D		1-3/4"			
205	BEDROOM 3	PR 2' - 0"	6' - 8"	C		1-3/4"			
206	BEDROOM 3	2' - 6"	6' - 8"	D		1-3/4"			
207	BEDROOM 2	2' - 6"	6' - 8"	D		1-3/4"			
208	BEDROOM 2	PR 2' - 6"	6' - 8"	C		1-3/4"			
209	LAUNDRY	2' - 8"	6' - 8"	D		1-3/4"			
210	PRIMARY CLOSET	2' - 6"	6' - 8"	E		1-3/4"			
211	PRIMARY BATH	2' - 8"	6' - 8"	D		1-3/4"			
212	TOILET ROOM	2' - 6"	6' - 8"	D		1-3/4"			
213	ATTIC	2' - 6"	1' - 10"	D		1-3/4"		WALL MOUNTED ATTIC ACCESS	
214	PRIMARY BEDROOM	PR 2' - 6"	6' - 8"	C		1-3/4"			

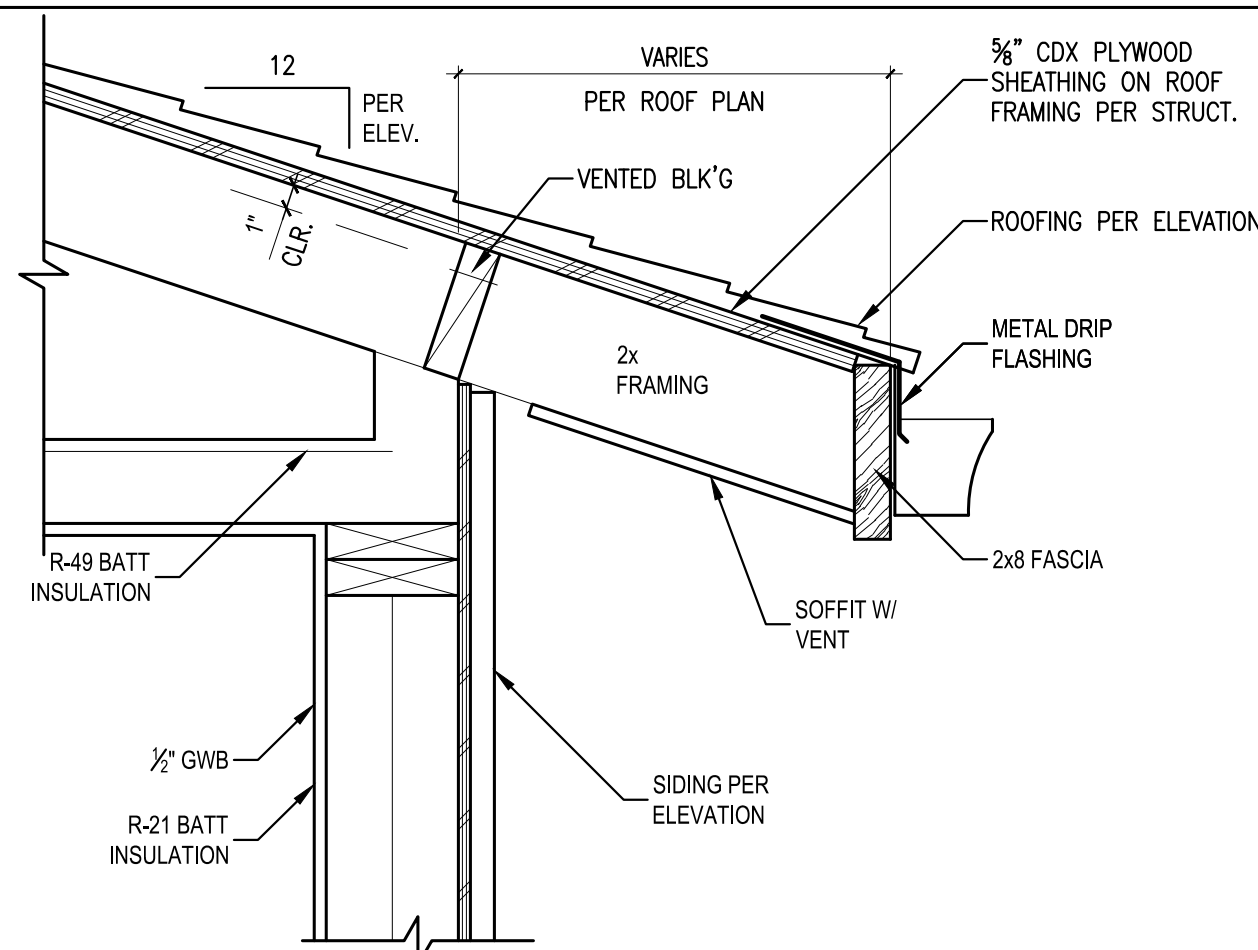
WINDOW SCHEDULE									
TAG.	DESCRIPTION	WINDOW SIZE		TEMP.	QTY.	AREA (SF)	U-VAL (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT						
A	DOUBLE HUNG	2' - 3"	3' - 6"	Y	4	15.8	0.28	LOW E / CLEAR	GRID PER ELEVATION, 2 PAIRS FACTORY JOINED
B	FIXED	2' - 6"	6' - 8"	Y	4	66.7	0.28	LOW E / CLEAR	GRID PER ELEVATION, 2 PAIRS FACTORY JOINED
C	FIXED	2' - 2 1/2"	8' - 1"	Y	2	35.7	0.28	LOW E / CLEAR	GRID PER ELEVATION
D	FIXED	2' - 6"	6' - 3"	Y	11	171.9	0.28	LOW E / CLEAR	GRID PER ELEVATION, FACTORY JOINED PER ELEVATION, CONFIRM HEIGHT ON SITE
E	FIXED	2' - 2 1/2"	6' - 4"	Y	4	59.6	0.28	LOW E / CLEAR	GRID PER ELEVATION, FACTORY JOINED PER ELEVATION
F	DOUBLE HUNG	2' - 6"	4' - 0"	N	3	30	0.28	LOW E / CLEAR	GRID PER ELEVATION, 1 PAIR FACTORY JOINED
G	FIXED	1' - 10"	5' - 0"	Y	3	27.5	0.28	LOW E / CLEAR	PRIVACY GLASS, GRID PER ELEVATION, FACTORY JOINED
H	FIXED	1' - 10"	5' - 0"	Y	2	18.3	0.28	LOW E / CLEAR	GRID PER ELEVATION, FACTORY JOINED.
I	FIXED	4' - 4"	4' - 4"	Y	1	18.77	0.28	LOW E / CLEAR	48" SQ.IN. GLASS TO GLASS, PRIVACY GLASS, GRID PER ELEVATION



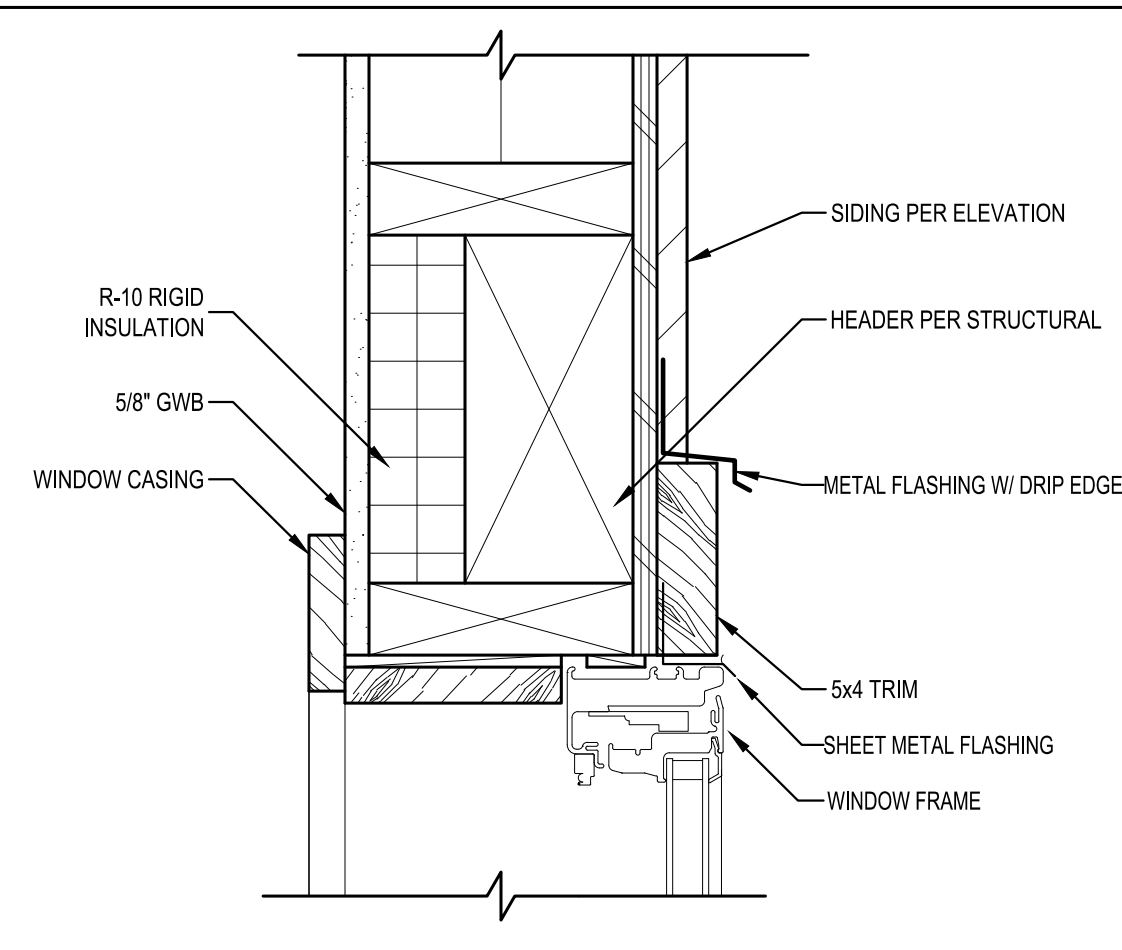
**4 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



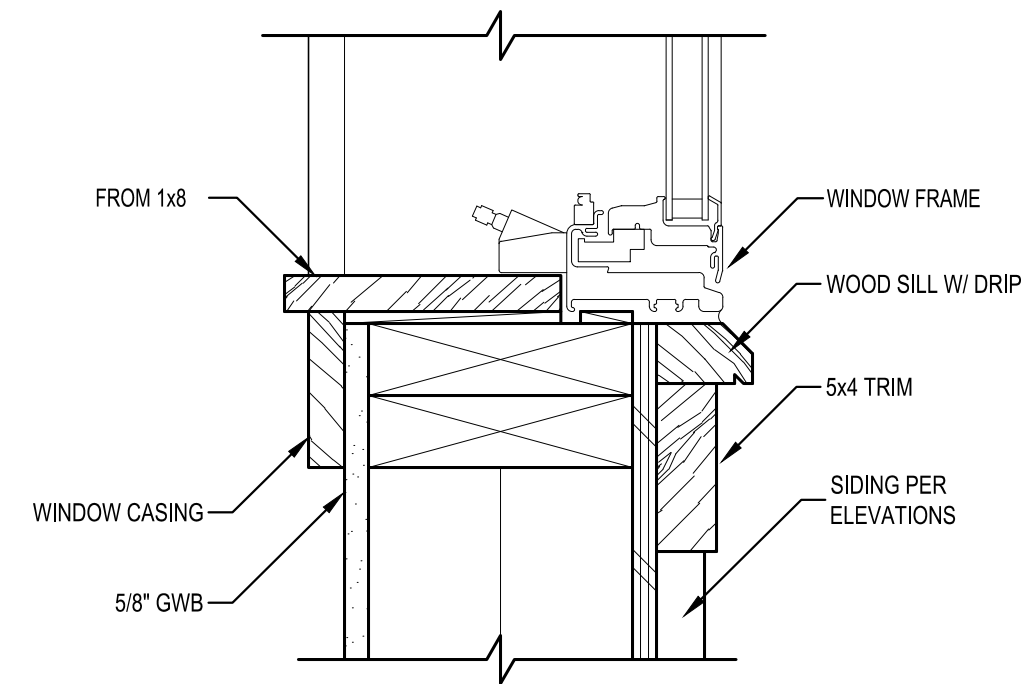
**5 ENTRY SECTION**  
SCALE: 1/2" = 1'-0"



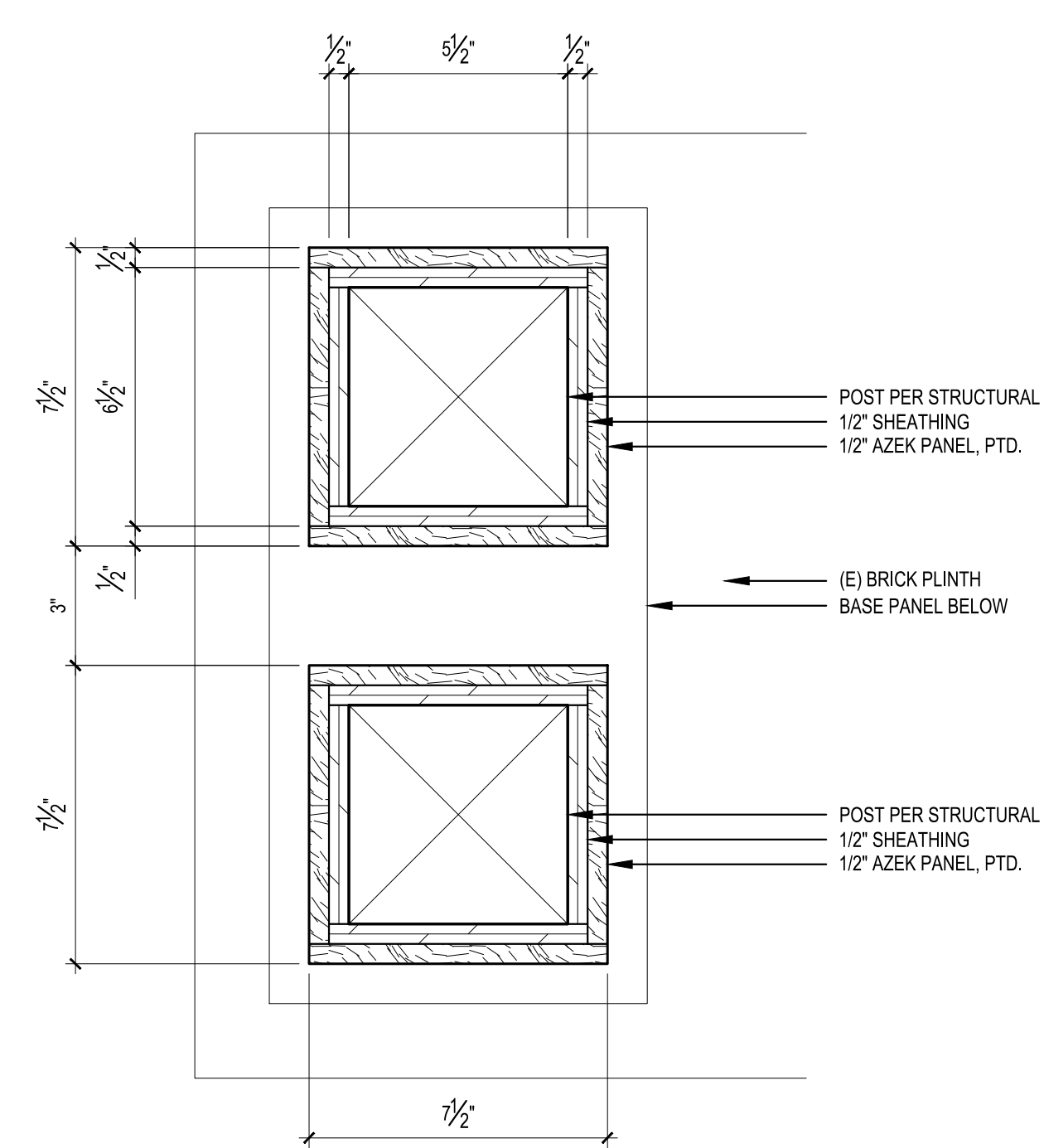
**1 TYPICAL ROOF EAVE DETAIL**  
SCALE: 1 1/2" = 1'-0"



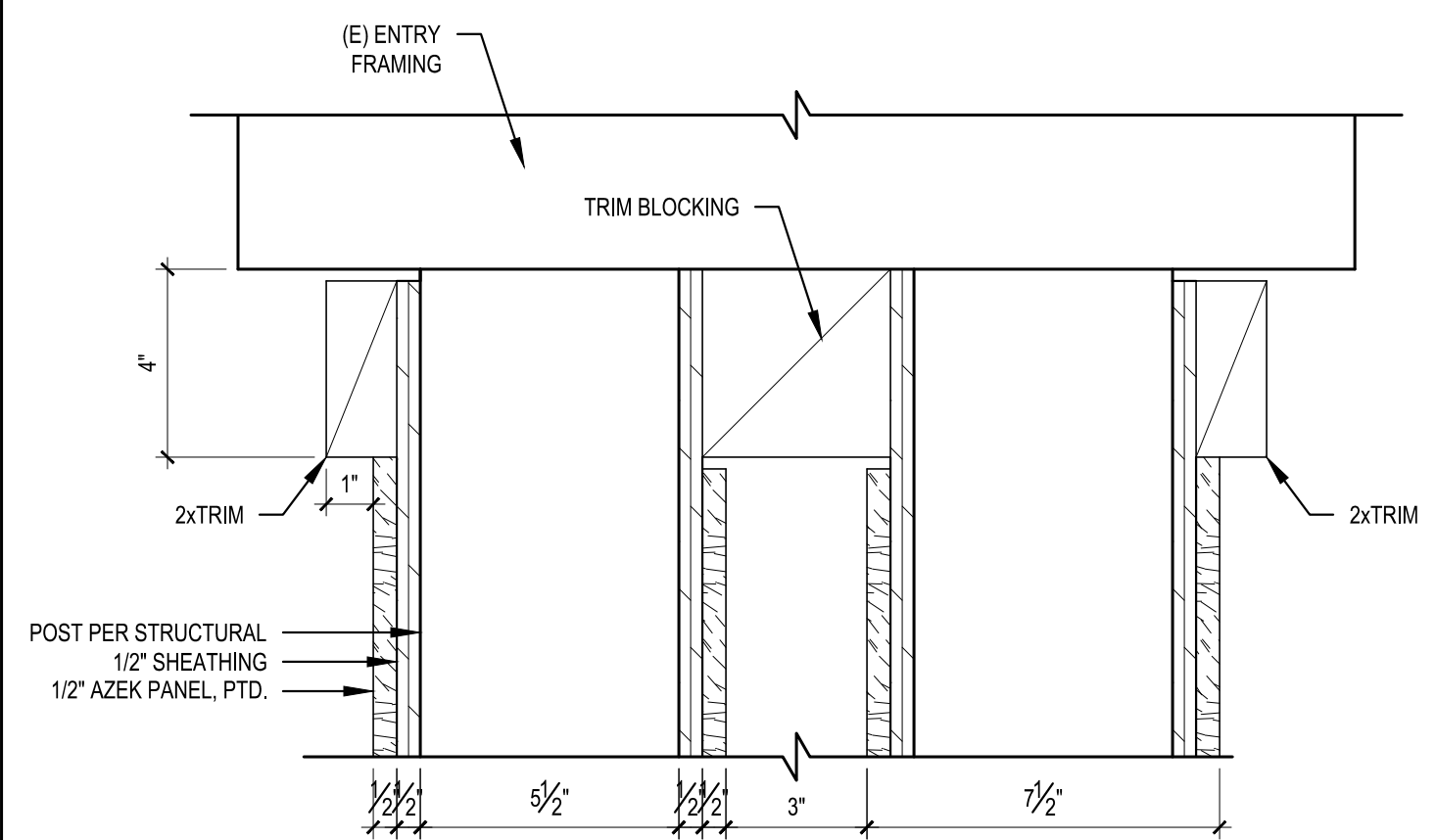
**2 TYPICAL WINDOW HEAD DETAIL**  
SCALE: 3" = 1'-0"



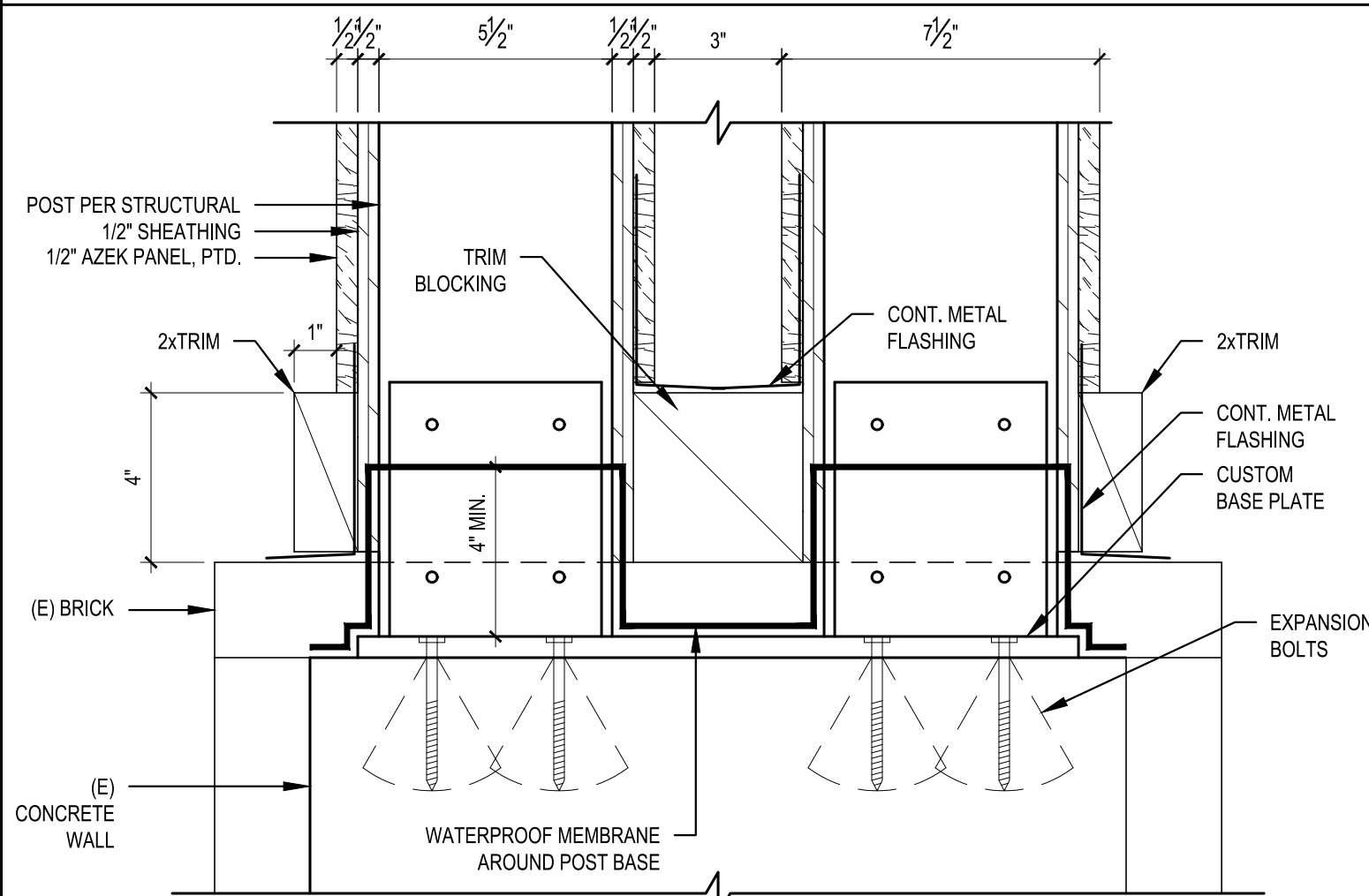
**3 TYPICAL WINDOW SILL DETAIL**  
SCALE: 3" = 1'-0"



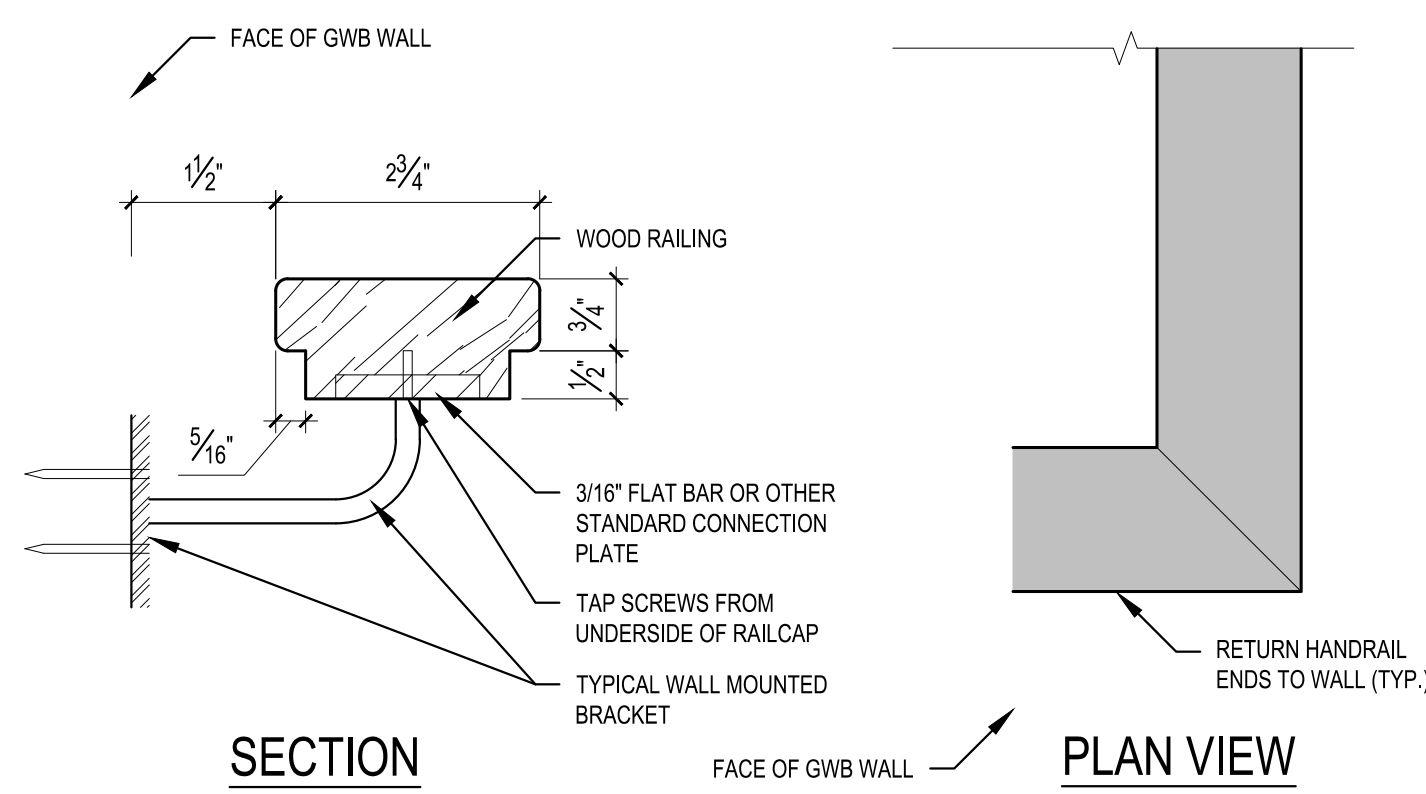
**4 ENTRY COLUMNS PLAN DETAIL**  
SCALE: 3" = 1'-0"



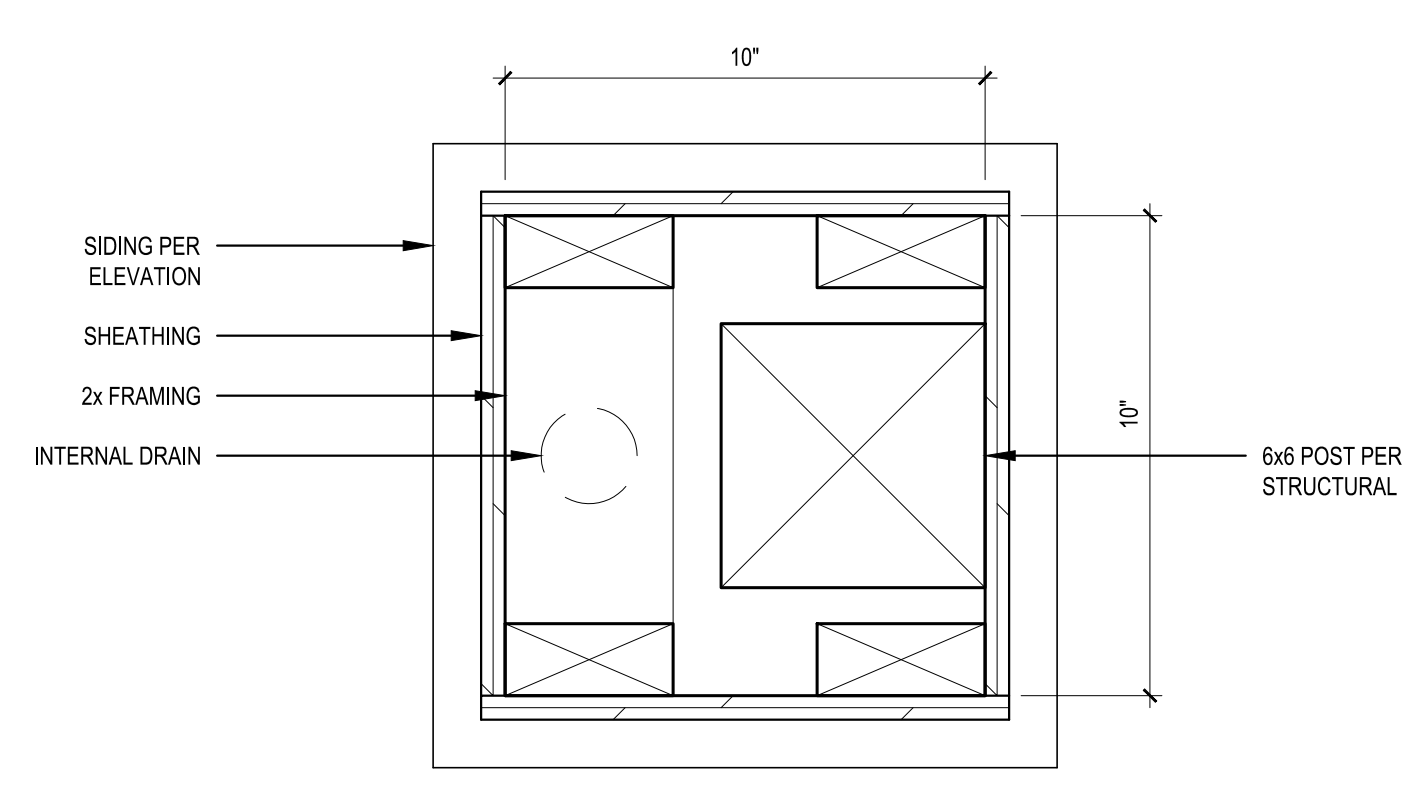
**5 BUILT-OUT WOOD COLUMN CAP DETAIL**  
SCALE: 3" = 1'-0"



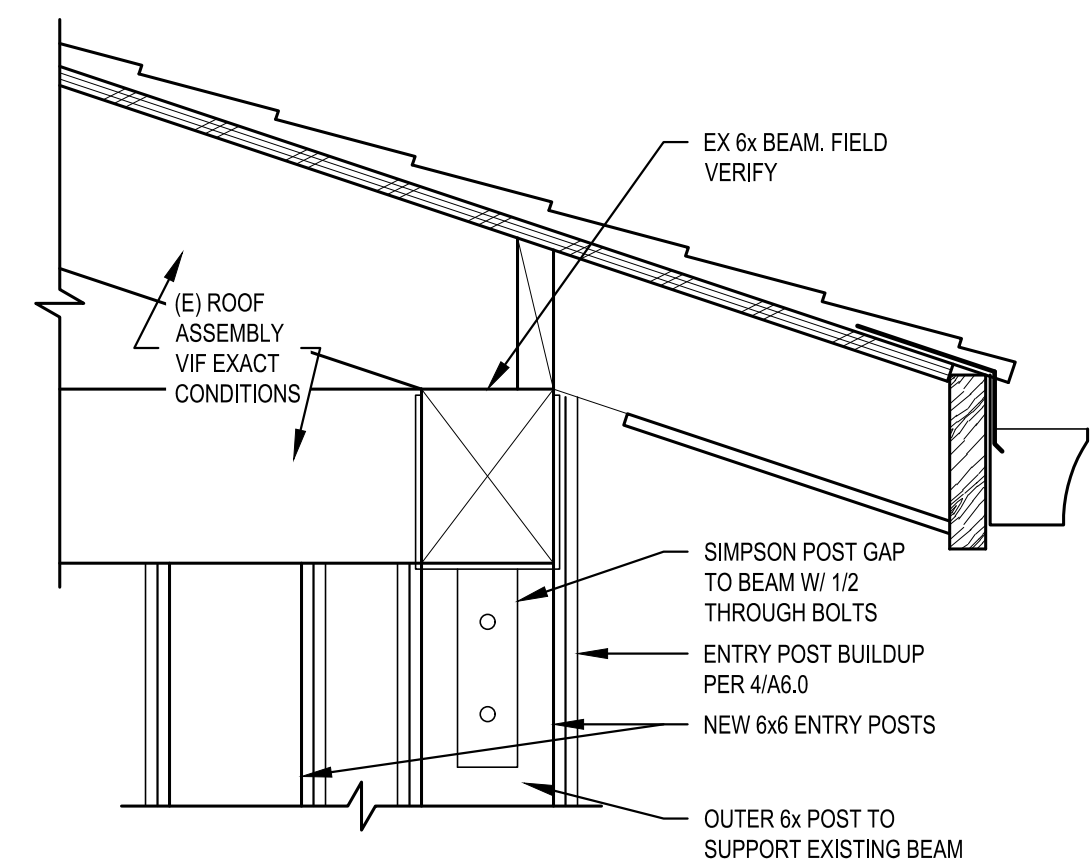
**6 COLUMN BASE DETAIL AT BRICK WALL**  
SCALE: 3" = 1'-0"



**7 HANDRAIL DETAIL**  
SCALE: 6" = 1'-0"



**8 TYP. COLUMN PLAN DETAIL**  
SCALE: 3" = 1'-0"



**9 ENTRY ROOF TO NEW COLUMN**  
SCALE: 1 1/2" = 1'-0"

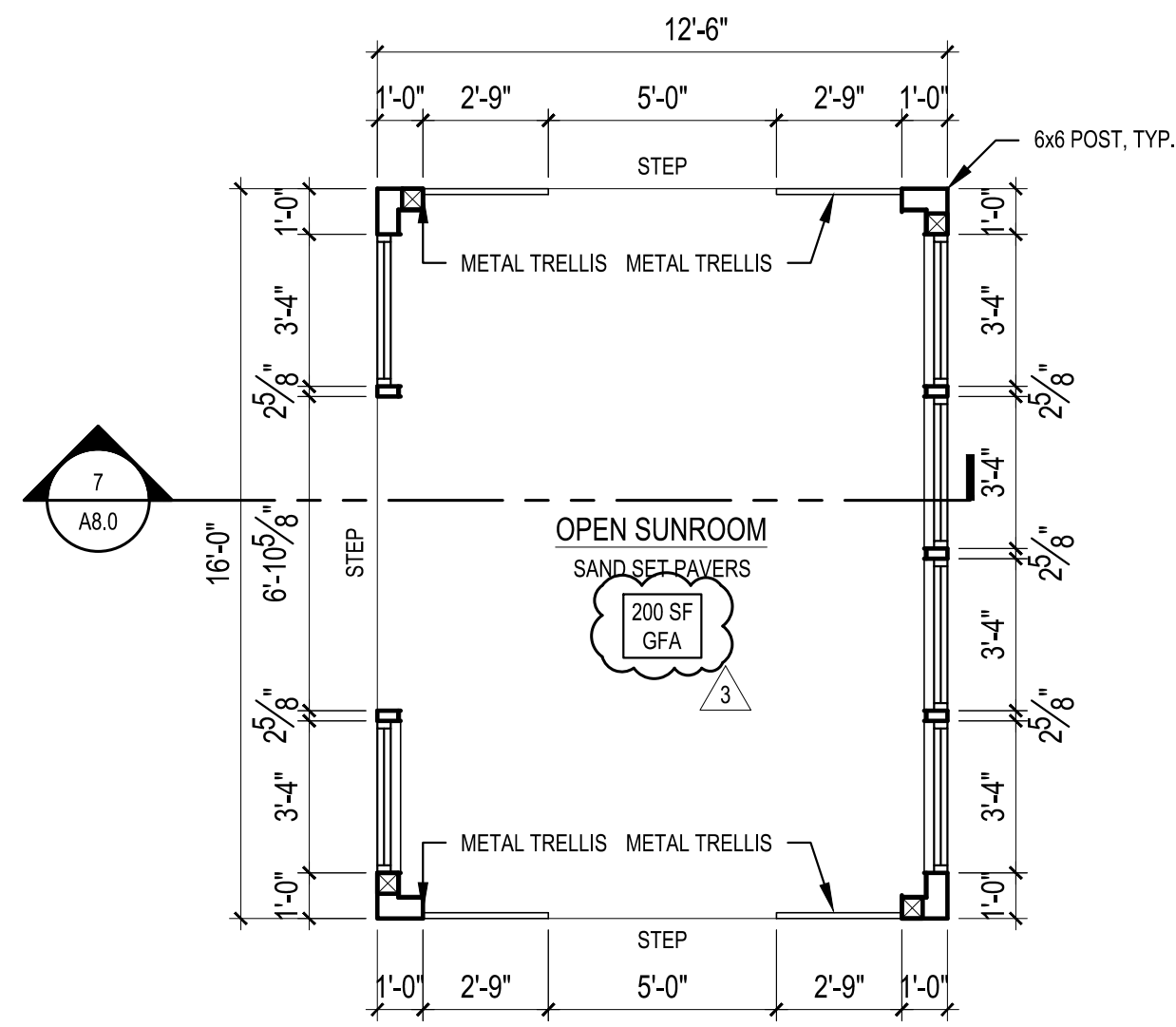
REVISIONS:	
2023-7-13 CORRECTION 1	
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PLOT DATE: 1/23/2024  
DRAWN BY: JM  
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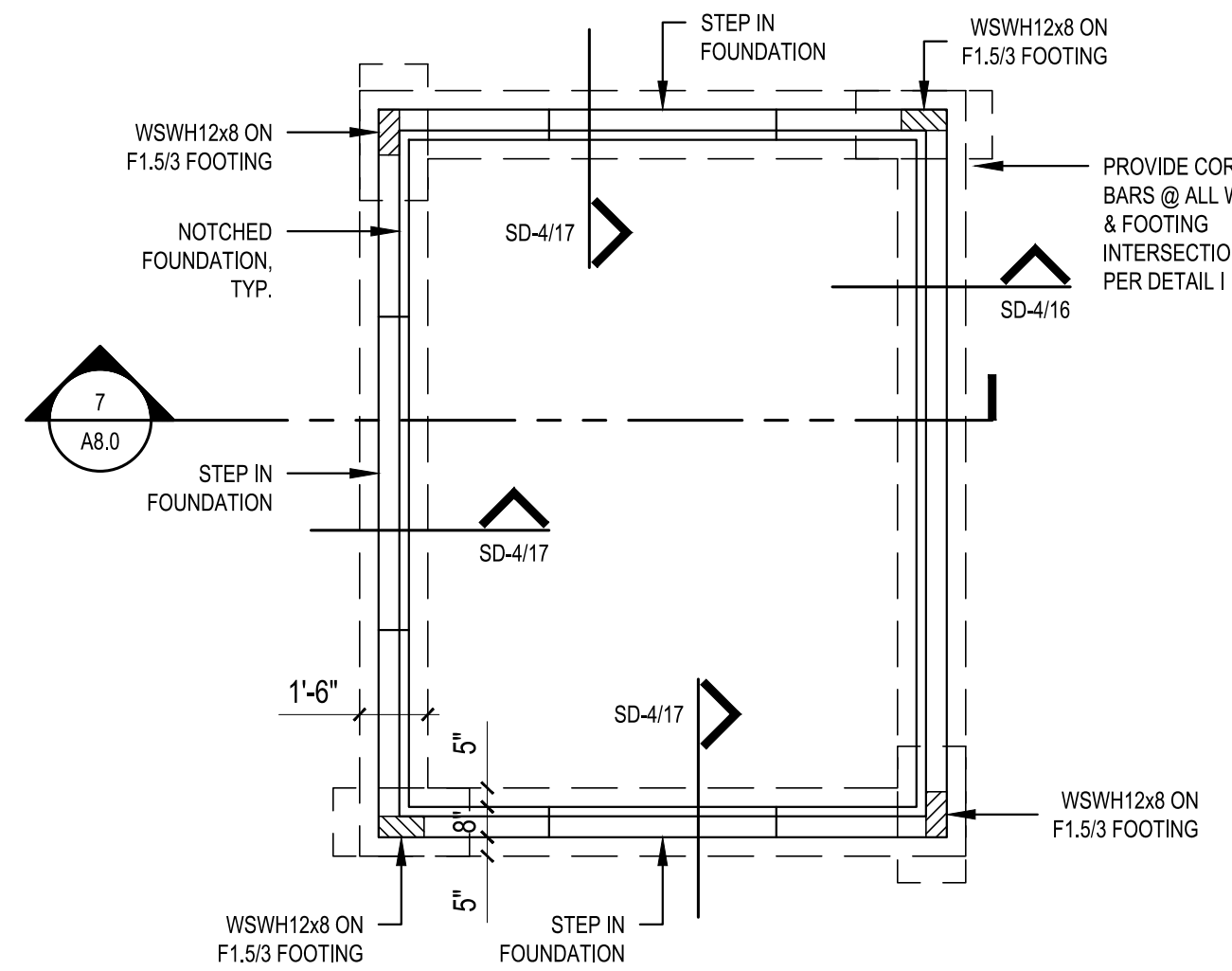
SHEET

**A6.0**

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PHASE 2 CORRECTION 1 1/23/2024

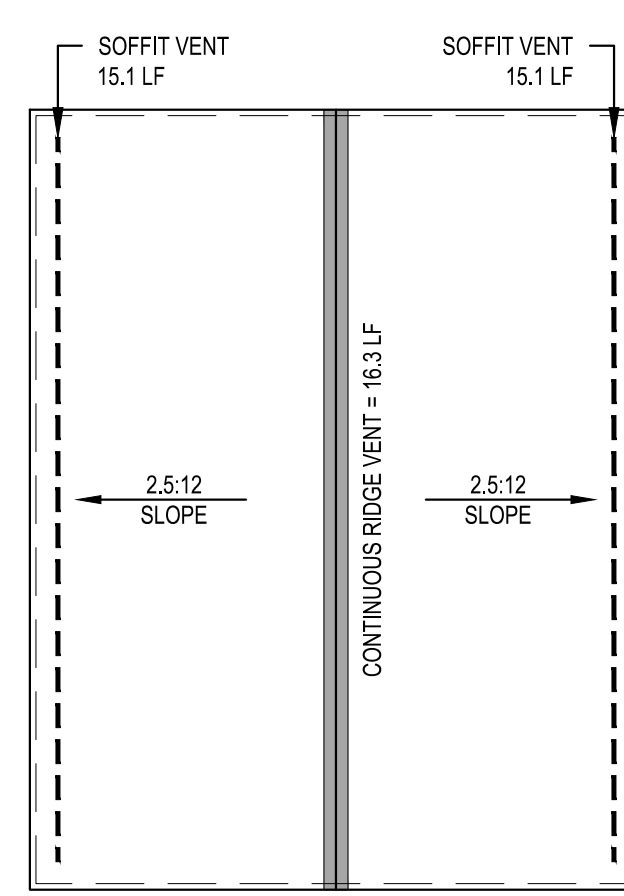


**1 OPEN SUNROOM PLAN**  
SCALE: 1/4" = 1'-0"

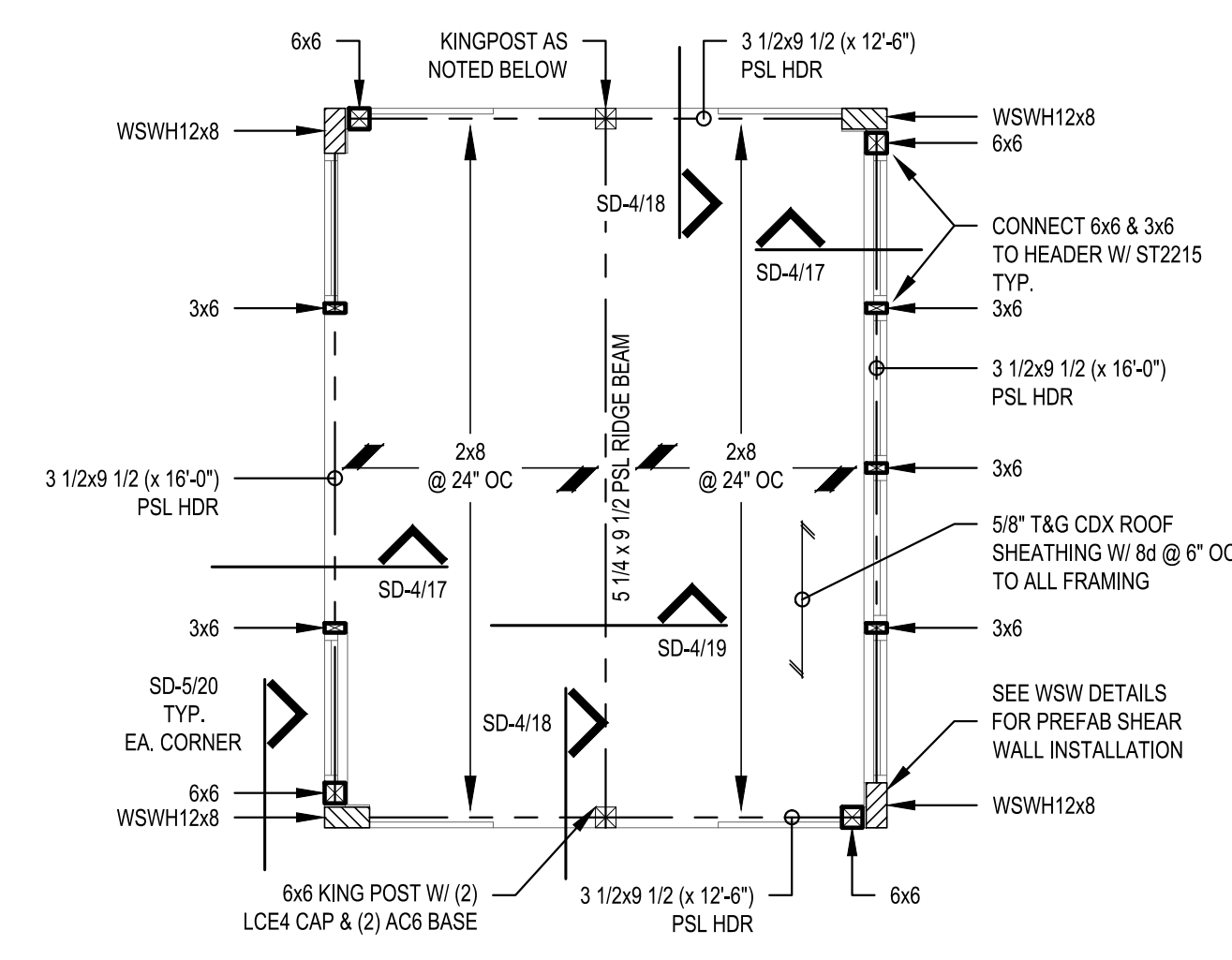


**2 OPEN SUNROOM PLAN FOUNDATION**  
SCALE: 1/4" = 1'-0"

SUNROOM FOOTING SCHEDULE		
MARK	SIZE (MINIMUM)	REINFORCING
F1.5/3	1'-6" x 3'-0" x 12"	(2) #4 CONT. BOTTOM + (2) #4 CONT. FROM TYPICAL FOOTING SEE DETAIL 16



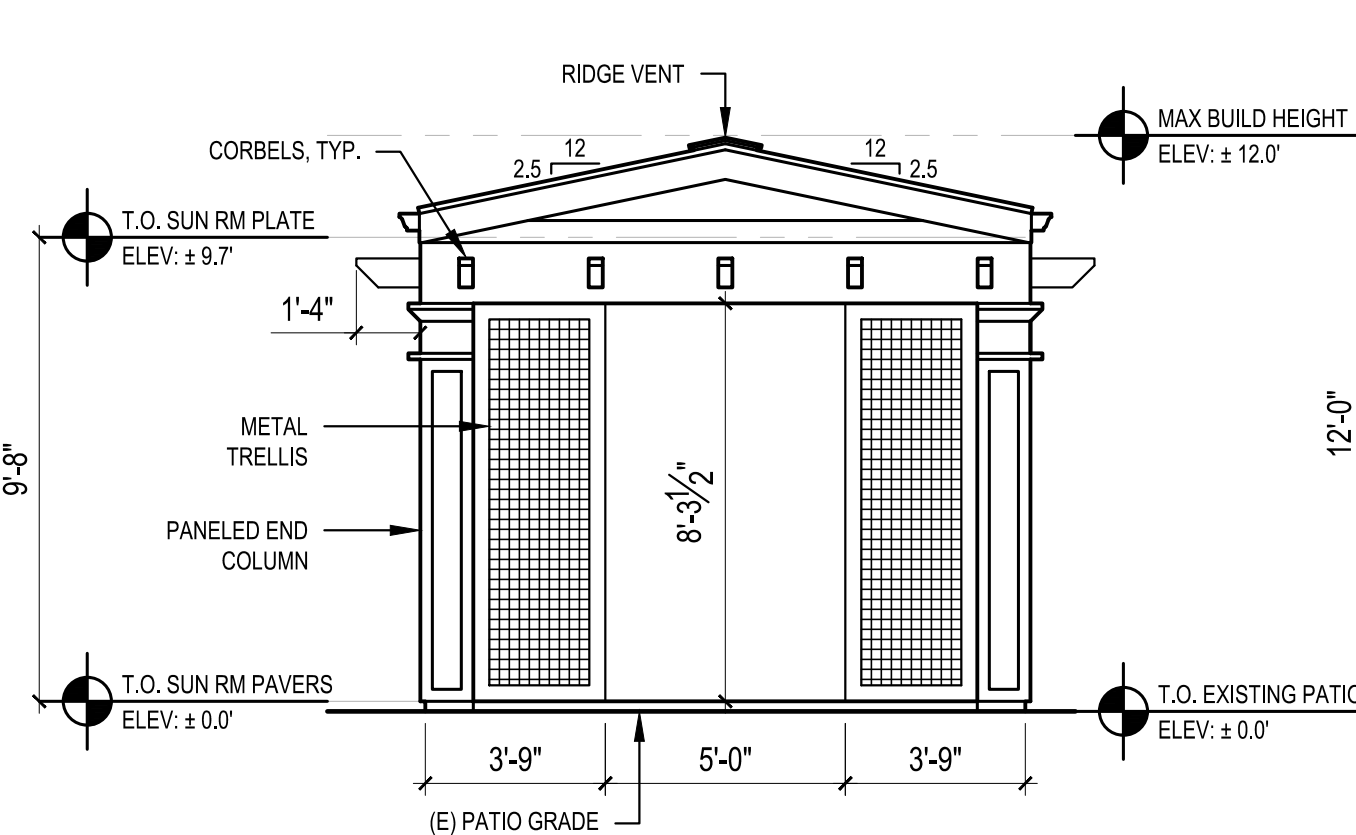
**3 OPEN SUNROOM ROOF PLAN**  
SCALE: 1/4" = 1'-0"



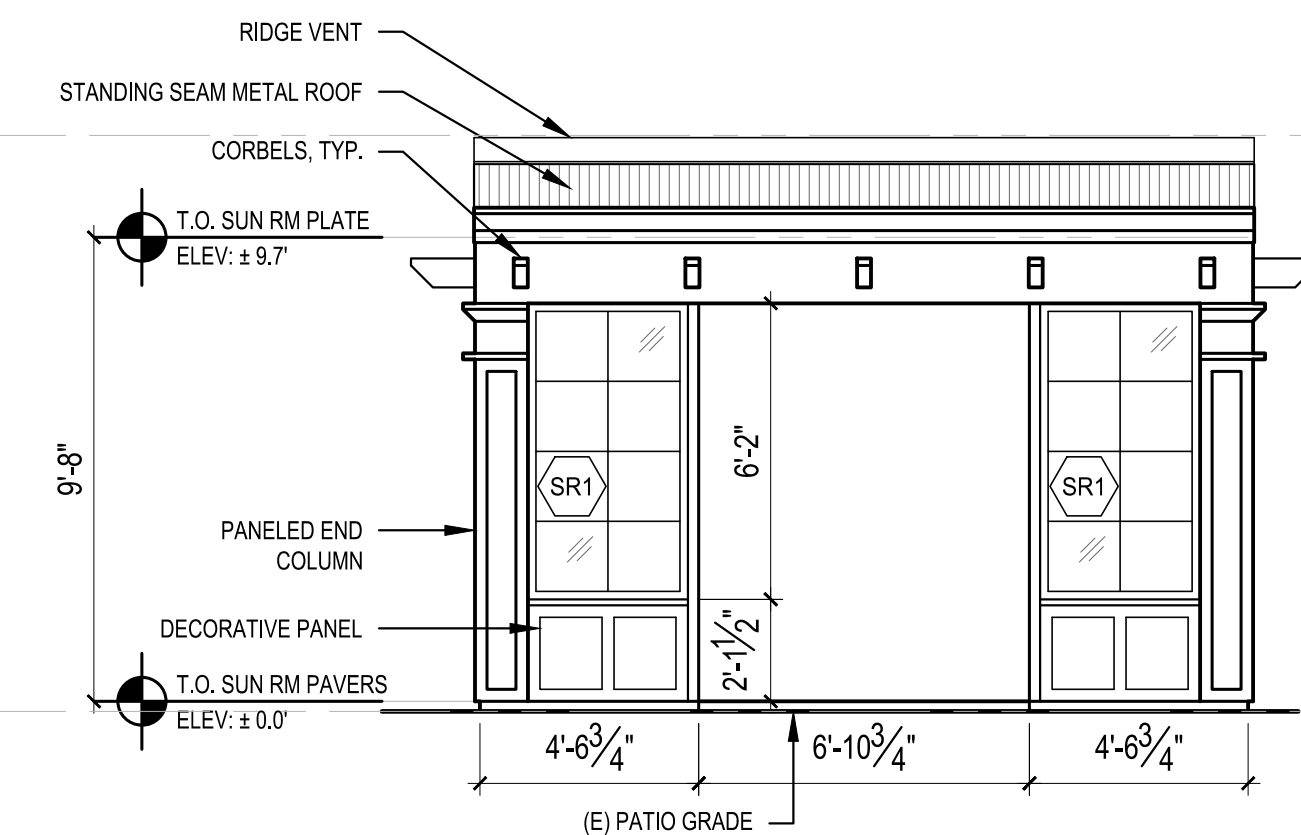
**4 ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

ROOF VENT CALCULATIONS											
DESCRIPTION	SF AREA	REQ. VENTING		CALCULATIONS				ACTUAL			
		PER SF AREA	300	VENT TYPE	VENT L.F.	TOTAL VENT AREA SQ. IN.	SF CONVERT. 1/144	80% EFF FACTOR	TOTAL		
OPEN SUN ROOM	207	1.38	300	RIDGE	10 SQ. IN./FT.	30.2	543.6	3.78	3.02	4.11	
				EAVE	1.5x1.0" VENT						
				CONTINUOUS	12 SQ. IN./FT.	16.3	195.6	1.36	1.09		
							0	0.00	0.00		

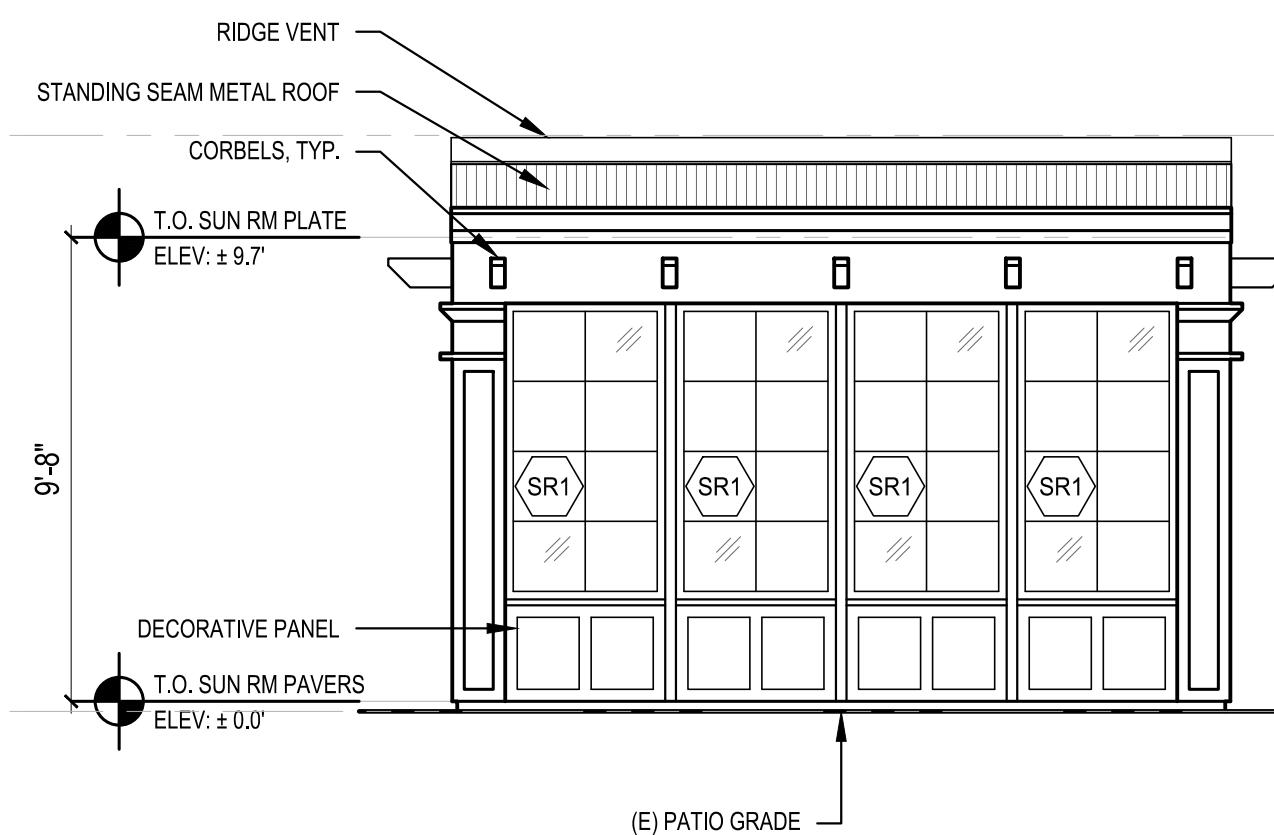
WINDOW SCHEDULE									
TAG.	DESCRIPTION	WINDOW SIZE		TEMP.	QTY.	AREA (SF)	U-VAL (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT						
SR1	PICTURE	3' - 4"	6' - 2"	N	6	123.3	0.28	LOW E / CLEAR	GRID



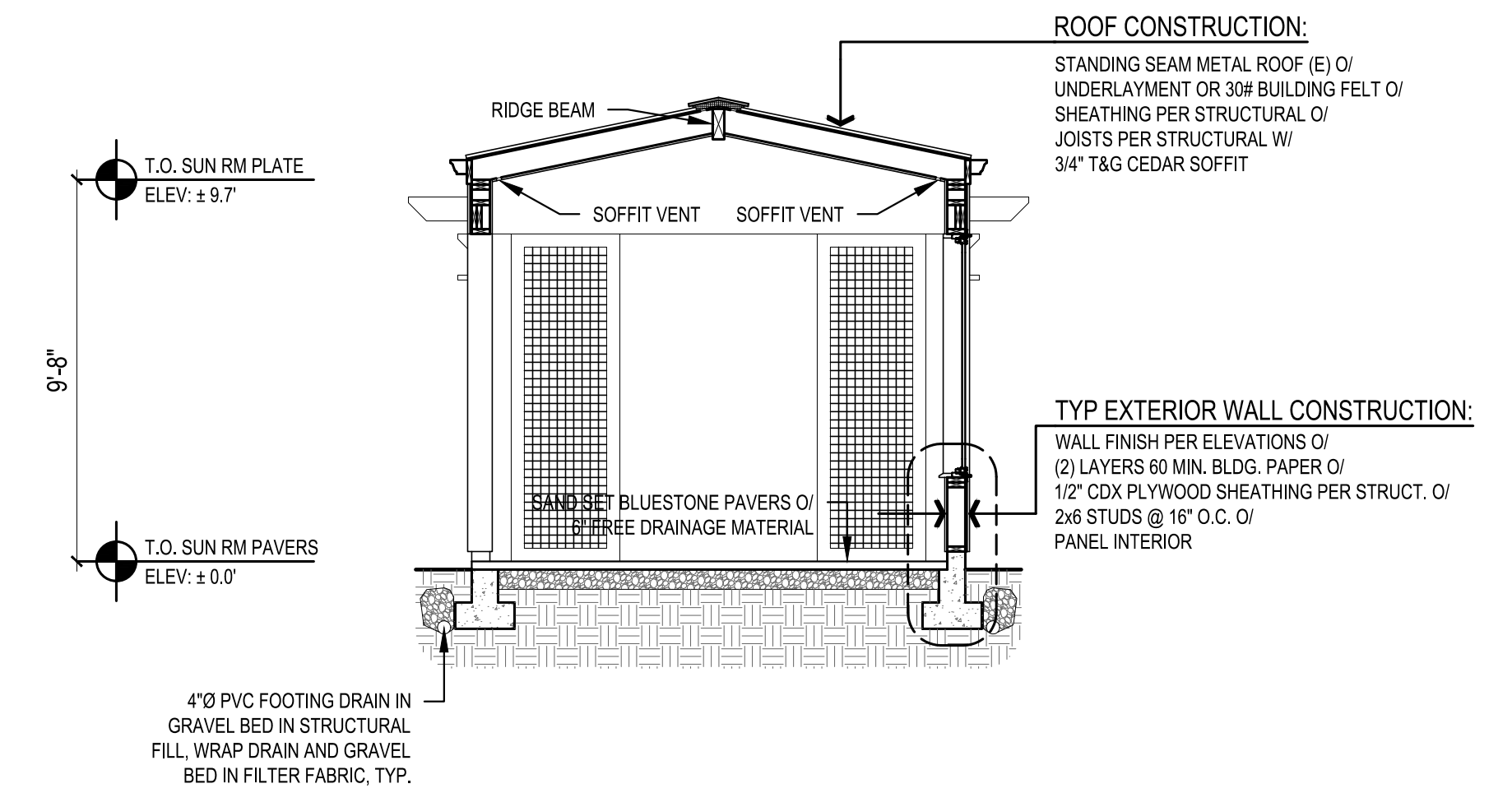
**5 SIDES OPEN SUNROOM ELEVATION**  
SCALE: 1/4" = 1'-0"



**6 FRONT OPEN SUNROOM ELEVATION**  
SCALE: 1/4" = 1'-0"



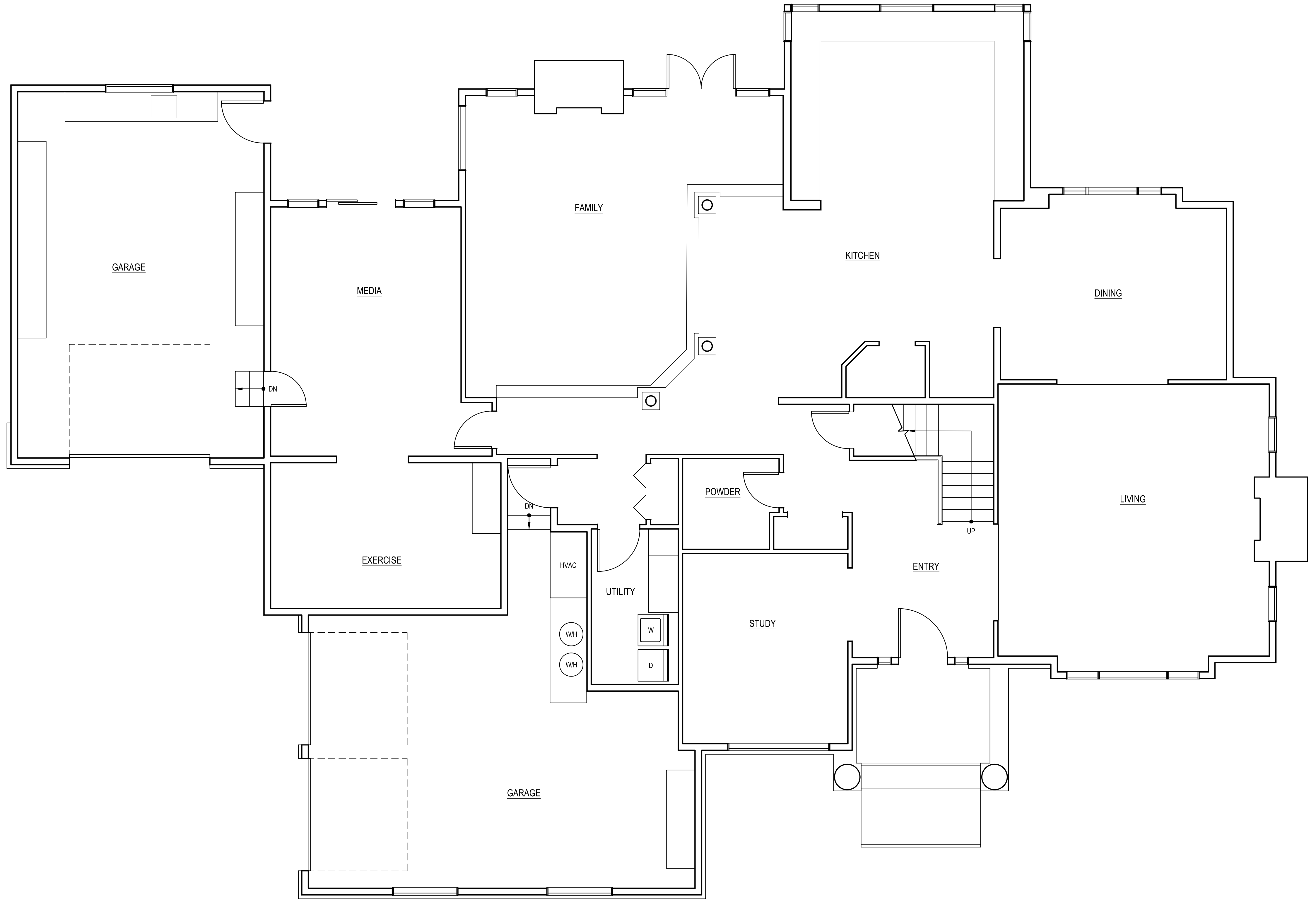
**7 REAR OPEN SUNROOM ELEVATION**  
SCALE: 1/4" = 1'-0"



**8 OPEN SUNROOM SECTION**  
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

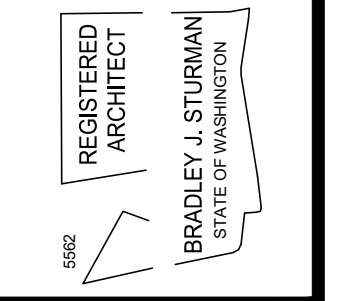
PHASE 2 CORRECTION 1 1/23/2024



**AS-BUILT  
MAIN FLOOR PLAN**

SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS  
A REDUCED PRINT, REDUCE SCALE ACCORDINGLY



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MERCER ISLAND, WA 98040

**AS-BUILT  
MAIN FLOOR PLAN**

REVISIONS:	DATE	DESCRIPTION
1	2023-7-13	CORRECTION 1
2	2023-8-31	PERMIT REVISION
3	2024-1-23	REVISION SUB 2

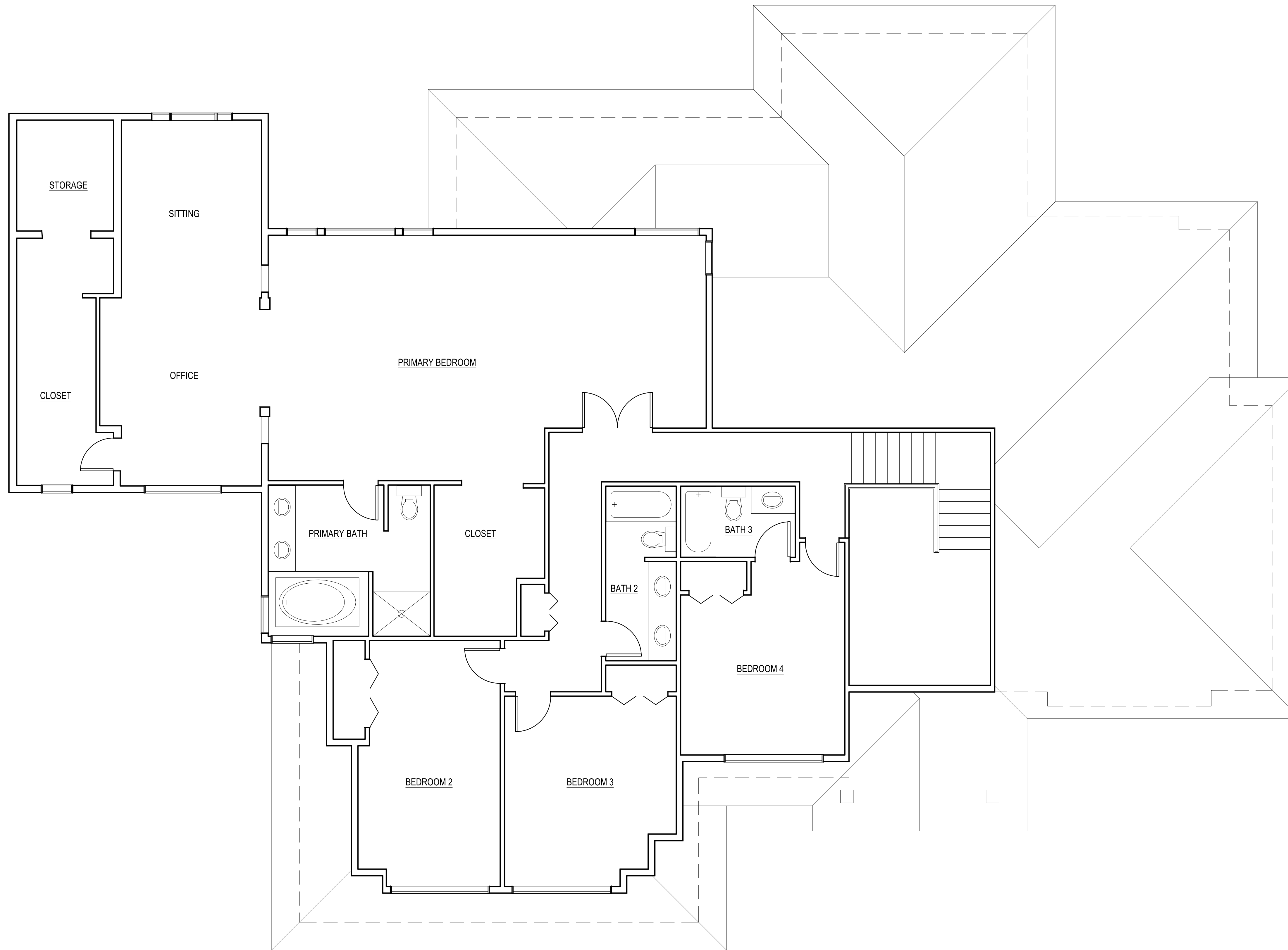
PLOT DATE: 1/23/2024

DRAWN BY: JM

CHECKED BY: BJS

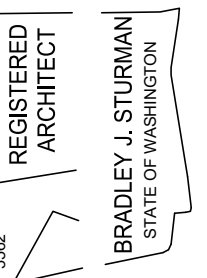
SHEET

**AB1**



**AS-BUILT  
UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS  
A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
PHASE 2 CORRECTION 1 1/23/2024



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**DAY RESIDENCE  
PHASE 2 - PERMIT REVISION SET  
7825 SE 76TH ST  
MERCER ISLAND, WA 98040**

**AS-BUILT  
UPPER FLOOR PLAN**

REVISIONS:
2023-7-13 CORRECTION 1
2023-8-31 PERMIT REVISION
2024-1-23 REVISION SUB 2

PLOT DATE: 1/23/2024  
DRAWN BY: JM  
CHECKED BY: BJS

SHEET  
**AB2**



INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (2005 EDITION) WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" DIAMETER AND SMALLER LAG SCREWS.

9.17 WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.9.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
- B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER (HOT-DIP GALVANIZED) ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 1" MINIMUM WITH 1/4" x 3" x 3" (HOT-DIP GALVANIZED) PLATE WASHERS, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @ 12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/16) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

- C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH STRENGTH AXIS PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLAT ROOF AND FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER UNLESS OTHERWISE NOTED.

(6X AND LARGER PRESSURE TREATED MEMBERS) HEM-FIR NO.2 MINIMUM BASE VALUE, Fc = 575 PSI

2 X 4 STUDS, PLATES & MISC. FRAMING: DF/L OR HF STUD GRADE

2 X 6 STUDS, PLATES & MISC. FRAMING: DF/L OR HF #2

- 9.2 GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND AITC STANDARDS. EACH MEMBER SHALL BEAR AN A.I.T.C. IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN A.I.T.C. CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2,400 PSI, Fv = 240 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2,400 PSI, Fv = 240 PSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS TO 3,000" RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS. GLULAM COLUMNS SHALL BE DOUGLAS FIR COMBINATION #5.

- 9.3 MANUFACTURED LUMBER, PSL, LVL, AND LSL SHALL BE MANUFACTURED UNDER A PROCESS APPROVED BY THE NATIONAL RESEARCH BOARD. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD NUMBER, AND THE QUALITY CONTROL AGENCY. ALL PSL, LVL, AND LSL LUMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH ICC-ES REPORT ESR-1387 USING DOUGLAS FIR VENEER GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. THE MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E)	Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSI
LVL (1.9E)	Fb = 2600 PSI, E = 1900 KSI, Fv = 285 PSI
LSL (1.55E)	Fb = 2250 PSI, E = 1550 KSI, Fv = 310 PSI

DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY THE TRUS-JOIST CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER, ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

- 9.9 PREFABRICATED SHEAR WALLS SHALL BE "STRONG-WALLS" AS MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH ICC-ES REPORTS NO. 1679 FOR STEEL WALLS AND NO. 2652 FOR WOOD WALLS, THE MANUFACTURER'S CURRENT PRODUCT LITERATURE AND THE STRUCTURAL DRAWINGS.

- 9.10 PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLAT ROOF SHEATHING SHALL E 5/8" (NOMINAL) WITH SPAN RATING 40/20.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/16.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

- 9.12 ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

PRESSURE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD C2 FOR LUMBER OR C9 FOR PLYWOOD. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO A RETENTION OF 0.40 PCF. PRESSURE TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO A RETENTION OF 0.25 PCF. SODIUM BORATE (SBX) TREATED WOOD SHALL NOT BE USED WHERE EXPOSED TO WEATHER. FASTENERS (NAILS, SCREWS, BOLTS AND ANCHOR BOLTS) AND TIMBER CONNECTORS IN DIRECT CONTACT WITH ACQ-A, CBA-A, CA-B, OR SBX TREATED WOOD SHALL BE GR55 OR A195 HOT DIPPED OR CONTINUOUS HOT-DIP GALVANIZED PER ASTM A653. FASTENERS AND TIMBER CONNECTORS IN DIRECT CONTACT WITH ACZA TREATED WOOD SHALL BE TYPE 304 OR 316 STAINLESS STEEL.

- 9.13 STRUCTURAL SOFFIT/EAVE VENTS SHALL BE 'RAFT-A-VENT' (RS-400) EAVE VENT AS MANUFACTURED BY 'COR-A-VENT' AND INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. SEE STRUCTURAL PLANS AND DETAILS FOR NAIL REQUIREMENTS AT VENT LOCATIONS.
- 9.15 TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CURRENT CATALOG. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LU" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "TIT" SERIES JOIST HANGERS. ALL DOUBLE-2X JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "HU" SERIES JOIST HANGERS. ALL DOUBLE-TJI JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MTI" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

- 9.16 WOOD FASTENERS
  - A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:
 

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d BOX	3-1/2"	0.135"
16d SINKER	3-1/2"	0.148"
16d COMMON	3-1/2"	0.162"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE ENGINEER OF RECORD (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

- B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD.

WITH IBC SECTION 1904 AND ACI 301-10. STRENGTHS AT 28 DAYS AND MIX CRITERIA SHALL BE AS FOLLOWS:

TYPE OF CONSTRUCTION	28 DAY STRENGTH (f'c)	MAXIMUM ABSOLUTE WATER-CEMENT RATIO	NON-ENRAINED AIR ENTRAINED CONCRETE
A. ALL STRUCTURAL CONCRETE	2,500 PSI	0.58	0.46

- 5.2 THE MINIMUM AMOUNTS OF CEMENT MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE ENGINEER OF RECORD AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FLYASH, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH IBC 1905.6. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, and C618. TOTAL AIR CONTENT FOR FRESH-PLACED CONCRETE SHALL BE IN ACCORDANCE WITH TABLE 1904.2 OF THE INTERNATIONAL BUILDING CODE.

- 5.4 REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, Fy = 60,000 PSI.

- 5.7 DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315-99 AND 318-14. LAP ALL REINFORCMENTS IN ACCORDANCE WITH "THE REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE." PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE ENGINEER OF RECORD.

- 5.8 CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	1-1/2"
FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER)	1-1/2"
COLUMN TIES OR SPIRALS AND BEAM STIRRUPS	1-1/2"

- 5.10 CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.

ANCHORAGE

- 6.2 EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS INTO EXISTING CONCRETE AND GROUTED CMU SHALL BE INSTALLED USING "SET-XP" EPOXY AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. 2506. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED PER ASTM A-36 UNLESS OTHERWISE NOTED. SET-XP IS FOR USE AT AIR TEMPERATURES BETWEEN 50 AND 110 DEGREES FAHRENHEIT

AT TIME OF INSTALLATION. USE ACRYLIC ADHESIVE LISTED IN NOTE 6.2A IF TEMPERATURES ARE BELOW 50 DEGREES.

- 6.2A ACRYLIC ADHESIVE-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS INTO EXISTING CONCRETE AND GROUTED CMU SHALL BE INSTALLED USING "AT-X" EPOXY AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH IPMO REPORT NO. UES ER-263. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. AT-XP IS FOR USE AT AIR TEMPERATURES BETWEEN 0 AND 100 DEGREES FAHRENHEIT AT TIME OF INSTALLATION. USE EPOXY ADHESIVE LISTED IN NOTE 6.2 IF TEMPERATURES ARE ABOVE 90 DEGREES.

- 6.4 SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHORS AS MANUFACTURED BY SIMPSON STRONG-TIE. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SUBSTITUTES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH ICBO, OR ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. 1056.

STEEL

- 8.1 STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:
  1. EITHER AISC-LRFD, AISC 355, OR AISC-HSS AND SECTION 2205.2 OF THE INTERNATIONAL BUILDING CODE.

- 8.2 WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, Fy = 50 KSI. OTHER ROLLED SHAPES INCLUDING PLATES, SHALL CONFORM TO ASTM A36, Fy = 36 KSI. CONNECTION BOLTS SHALL CONFORM TO ASTM A307.

- 8.9 ALL WELDING SHALL BE IN CONFORMANCE WITH A.I.S.C. AND A.W.S. STANDARDS AND SHALL BE PERFORMED BY W.A.B.O. CERTIFIED WELDERS USING E70 XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY A.W.S.) SHALL BE USED.

WOOD

- 9.1 FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 17. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS:	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
	(2X, 3X & 4X PRESSURE TREATED MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
POSTS:	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(4X PRESSURE TREATED MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fc = 1300 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

CRITERIA

- 1.1 ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018 EDITION).
- 1.2 DESIGN LOADING CRITERIA
  - ROOF SNOW LOAD . . . . . 25 PSF
  - ATTIC LIVE LOAD (UNINHABITABLE - NO STORAGE) . . . . . 10 PSF
  - FLOOR LIVE LOAD (RESIDENTIAL) . . . . . 40 PSF
  - FLOOR LIVE LOAD (RESIDENTIAL DECKS AND BALCONIES) . . . . . 60 PSF
  - GUARDRAILS/BALCONY RAILS CONCENTRATED LOAD . . . . . 200 LBS

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

- 1.3 STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

- 1.4 CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.

- 1.5 CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

- 1.6 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE ENGINEER OF RECORD HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE ENGINEER OF RECORD HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.

- 1.7 CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND ENGINEER OF RECORD FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.

- 1.8 DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE ENGINEER OF RECORD.

- 1.9 ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

- 1.14 DEFLECTION OF CANTILEVERS SHALL BE CLOSELY MONITORED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR TO VERIFY AND ENSURE ALL POST CAPS AND POST BEARING CONDITIONS ARE INSTALLED IN STRICT CONFORMANCE TO THE STRUCTURAL PLANS. CANTILEVERS IN WOOD FRAMING CAN DEFLECT UP TO 1/8" PER FOOT (I.E. 4' CANTILEVER MAY DEFLECT 1/2"). IF DEFLECTION EXCEEDS 1/8" PER FOOT NOTIFY STRUCTURAL ENGINEER IMMEDIATELY. BEFORE

FINISHES ARE INSTALLED, FLOORS AT OR ABOVE CANTILEVERS MAY REQUIRE LEVELING COMPOUND AND SOFFITS FURRED TO MAKE THEM LEVEL.

GEOTECHNICAL

- 3.1 FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND COEFFICIENT OF FRICTION ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE ENGINEER OF RECORD FOR POSSIBLE FOUNDATION REDESIGN.

FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

ALLOWABLE SOIL PRESSURE. . . . . 1500 PSF  
COEFFICIENT OF FRICTION (FACTOR OF SAFETY OF 1.5 INCLUDED) . . . . . 0.35

RENOVATION

- 4.1 DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.

- 4.2 EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED.

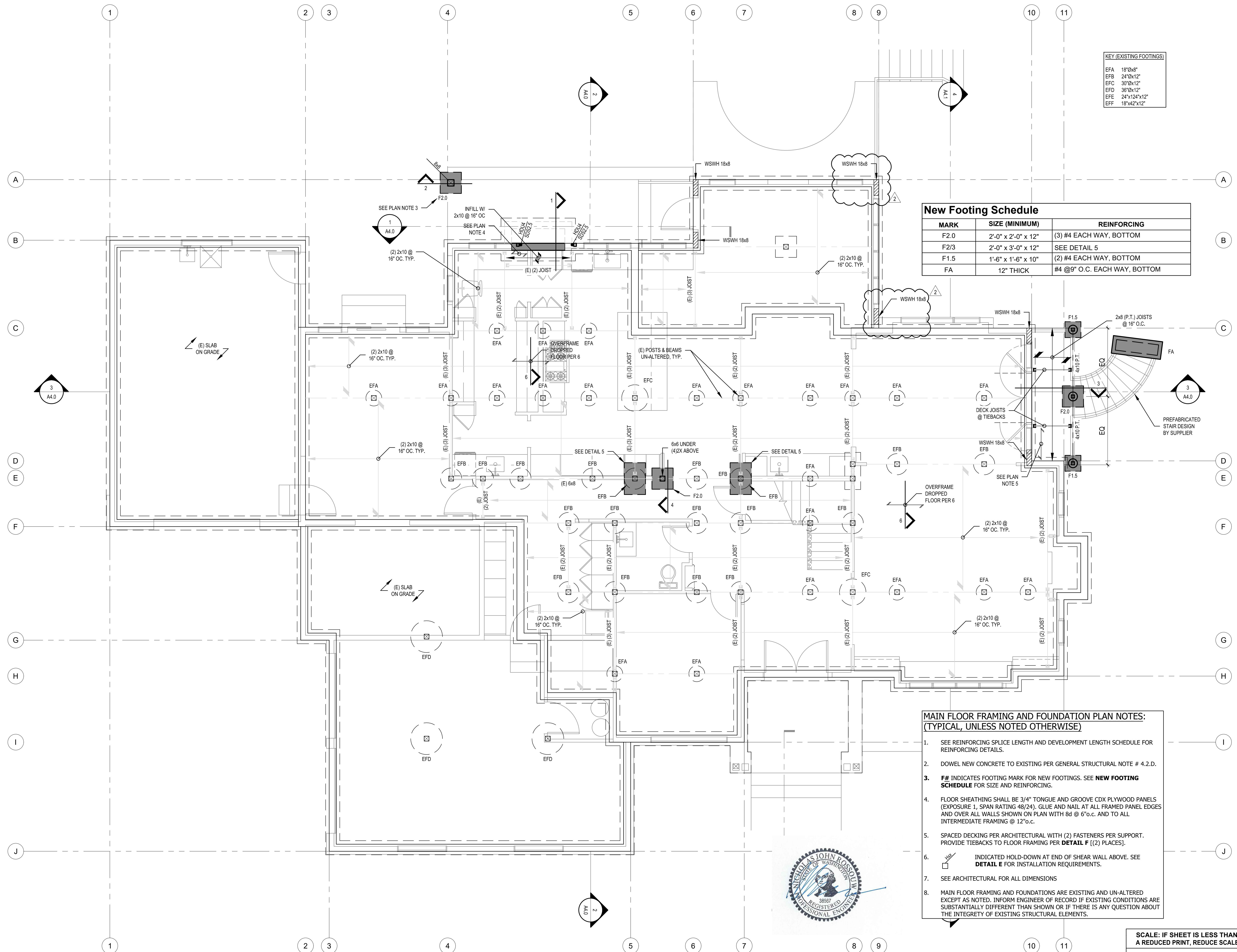
- A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE.
- B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
- C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING, IF POSSIBLE.
- D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DOWELS EPOXY GROUTED INTO EXISTING CONCRETE SHALL BE PROVIDED TO MATCH HORIZONTAL REINFORCING WITH 4" MINIMUM EMBEDMENT IN EXISTING CONCRETE, UNLESS OTHERWISE NOTED ON PLANS.

- 4.5 CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE ENGINEER OF RECORD OR ARCHITECT.

WOOD MEMBERS WITH ROT OR WATER DAMAGE THAT ARE NOT REMOVED SHALL BE TREATED WITH "PC-ROT TERMINATOR" 2-PART EPOXY WOOD CONSOLIDANT (OR APPROVED EQUAL). CONSOLIDANT SHALL BE USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

CONCRETE

- 5.1 CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE



**KEY (EXISTING FOOTINGS)**

EFA	18"0x8"
EFB	24"0x12"
EFC	30"0x12"
EFD	36"0x12"
EFE	24"x12"x12"
EFF	18"x42"x12"

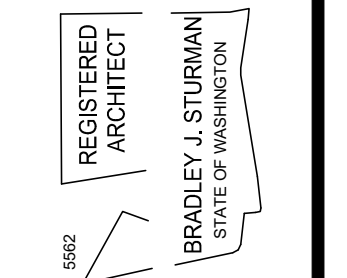
**New Footing Schedule**

MARK	SIZE (MINIMUM)	REINFORCING
F2.0	2'-0" x 2'-0" x 12"	(3) #4 EACH WAY, BOTTOM
F2/3	2'-0" x 3'-0" x 12"	SEE DETAIL 5
F1.5	1'-6" x 1'-6" x 10"	(2) #4 EACH WAY, BOTTOM
FA	12" THICK	#4 @9" O.C. EACH WAY, BOTTOM

- MAIN FLOOR FRAMING AND FOUNDATION PLAN NOTES:**  
(TYPICAL, UNLESS NOTED OTHERWISE)
- SEE REINFORCING SPLICE LENGTH AND DEVELOPMENT LENGTH SCHEDULE FOR REINFORCING DETAILS.
  - DOWEL NEW CONCRETE TO EXISTING PER GENERAL STRUCTURAL NOTE # 4.2.D.
  - F#** INDICATES FOOTING MARK FOR NEW FOOTINGS. SEE **NEW FOOTING SCHEDULE** FOR SIZE AND REINFORCING.
  - FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE CDX PLYWOOD PANELS (EXPOSURE 1, SPAN RATING 48/24). GLUE AND NAIL AT ALL FRAMED PANEL EDGES AND OVER ALL WALLS SHOWN ON PLAN WITH 8d @ 6"o.c. AND TO ALL INTERMEDIATE FRAMING @ 12"o.c.
  - SPACED DECKING PER ARCHITECTURAL WITH (2) FASTENERS PER SUPPORT. PROVIDE TIEBACKS TO FLOOR FRAMING PER **DETAIL F** ((2) PLACES).
  - INDICATED HOLD-DOWN AT END OF SHEAR WALL ABOVE. SEE **DETAIL E** FOR INSTALLATION REQUIREMENTS.
  - SEE ARCHITECTURAL FOR ALL DIMENSIONS
  - MAIN FLOOR FRAMING AND FOUNDATIONS ARE EXISTING AND UN-ALTERED EXCEPT AS NOTED. INFORM ENGINEER OF RECORD IF EXISTING CONDITIONS ARE SUBSTANTIALLY DIFFERENT THAN SHOWN OR IF THERE IS ANY QUESTION ABOUT THE INTEGRITY OF EXISTING STRUCTURAL ELEMENTS.



SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
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**FOUNDATION PLAN**

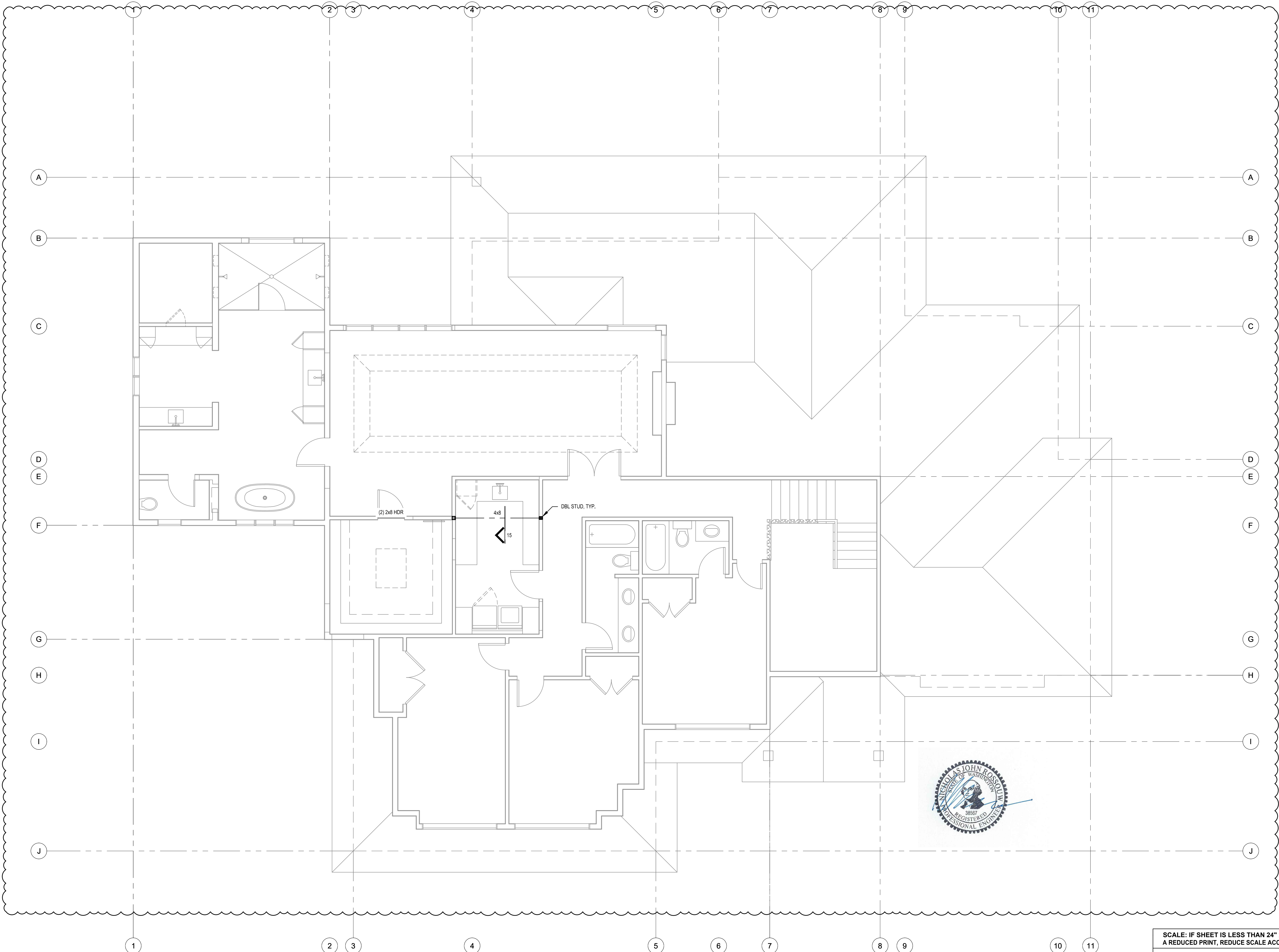
REVISIONS:

2023-7-13	CORRECTION 1
2023-5-31	PERMIT REVISION

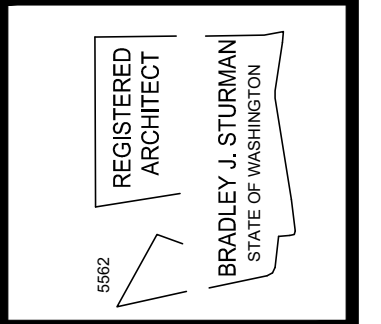
PLOT DATE: 10/11/2023  
DRAWN BY: JM  
CHECKED BY: BJS

SHEET **S2.0**





SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY  
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 MERCER ISLAND, WA 98040

**MAIN ROOF FRAMING**

REVISIONS:	DATE	DESCRIPTION
2023-7-13 CORRECTION 1		
2023-5-31 PERMIT REVISION		

PLOT DATE: 10/11/2023  
 DRAWN BY: JM  
 CHECKED BY: BJS

SHEET  
**S2.2**

**Reinforcing Splice and Development Length Schedule**

For  $f_c = 2,900$  psi, Grade 60 Reinforcing

**Minimum Straight Development Length ( $l_d$ )**

Bar Size	Top Bars	Other Bars
#3	24"	18"
#4	32"	24"
#5	39"	30"

**Minimum Lap Splice Lengths ( $l_s$ )**

Bar Size	Top Bars	Other Bars
#3	32"	24"
#4	42"	32"
#5	51"	39"

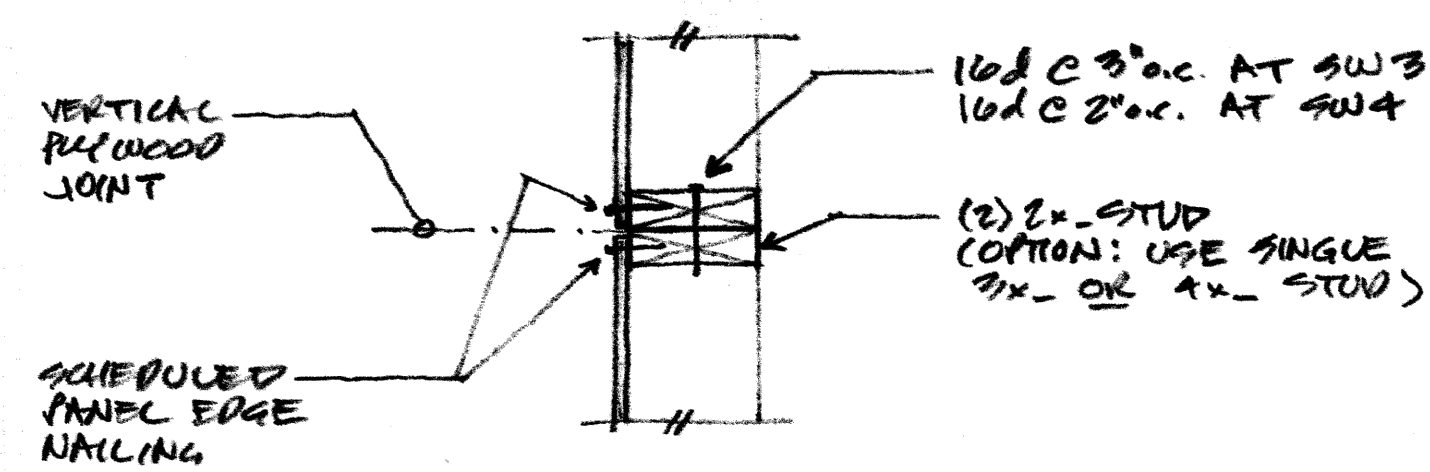
TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF CONCRETE CAST BELOW THEM.

IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR, OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMETERS, THEN LENGTHS SHALL BE INCREASED BY 50%

**Minimum Embedment Lengths ( $l_{eh}$ ) For Standard End Hooks**

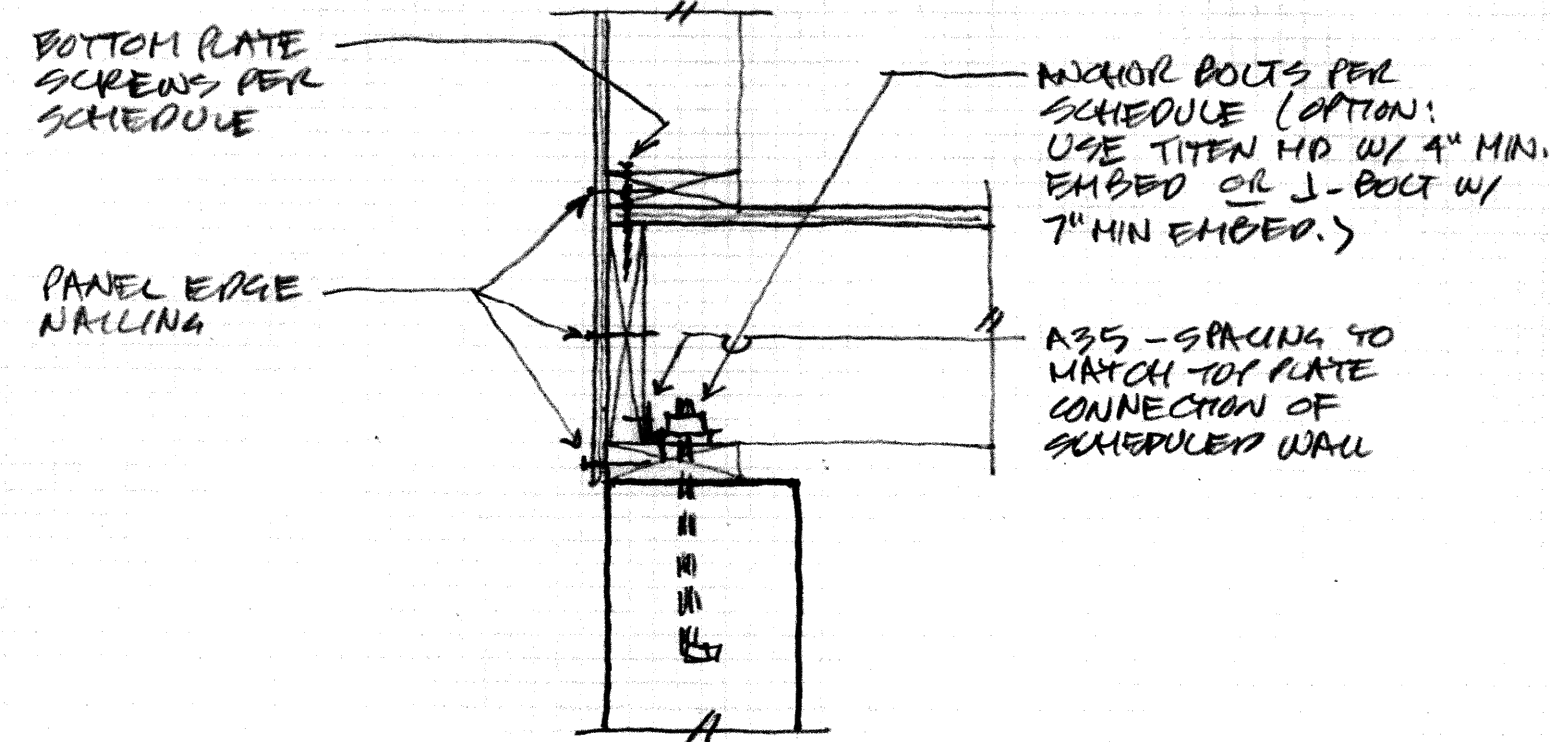
Bar Size	Length
#3	9"
#4	12"
#5	15"

- SIDE COVER MUST BE EQUAL TO OR GREATER THAN  $2d$
- END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN  $2'$

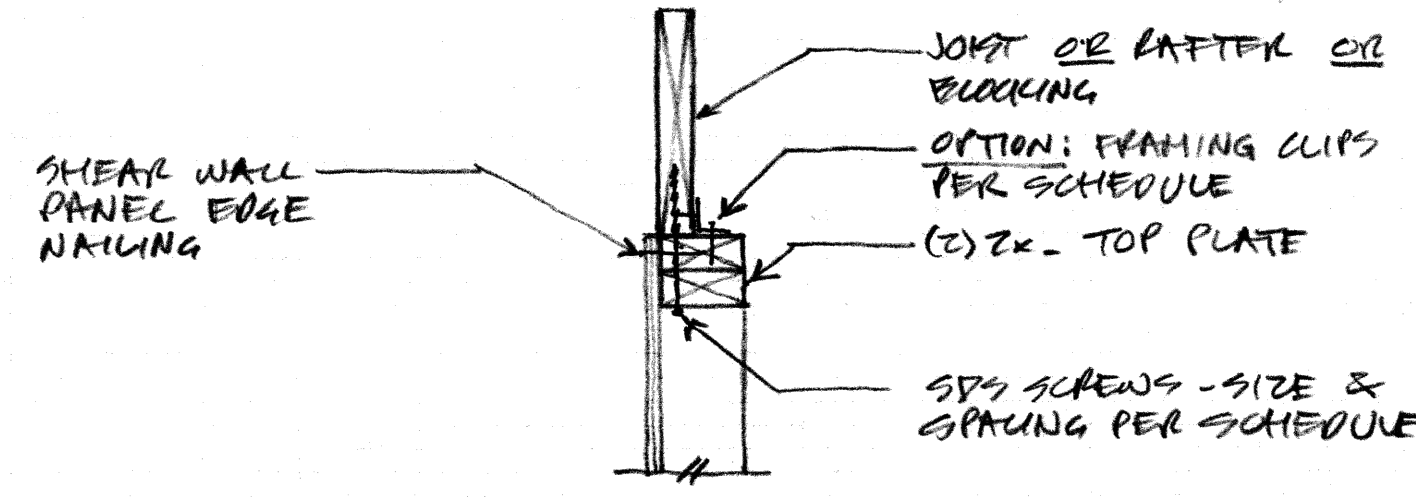


VERTICAL JOINTS AT SW3 & SW4 WALLS

(A)  
1 1/2" = 1'-0"

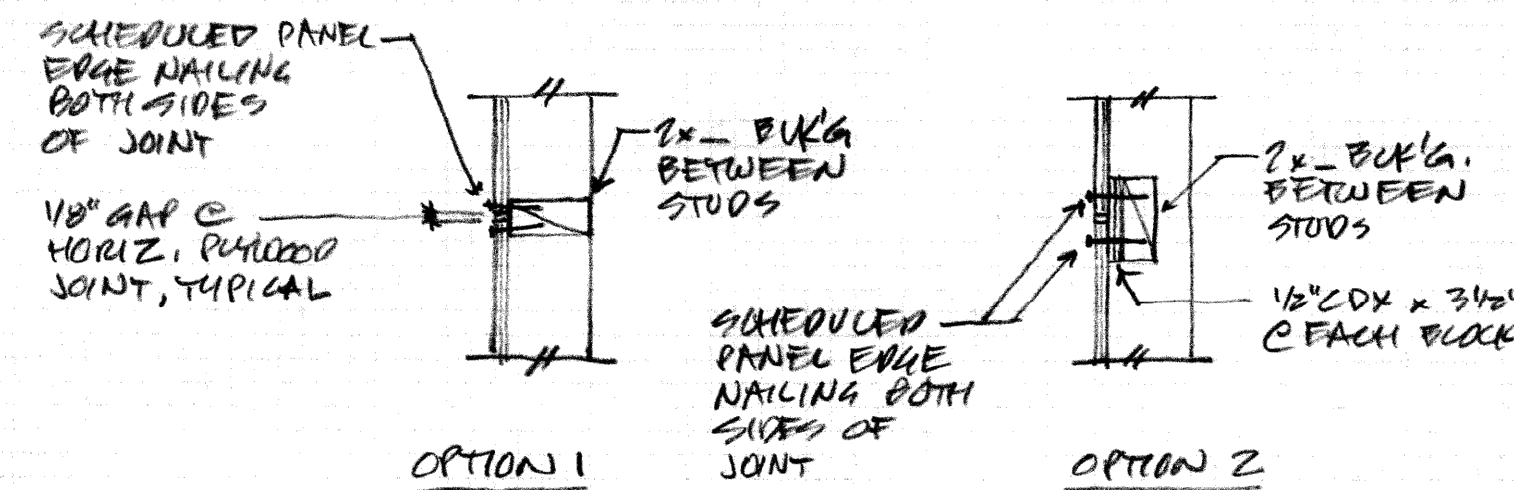


(B)  
1 1/2" = 1'-0"



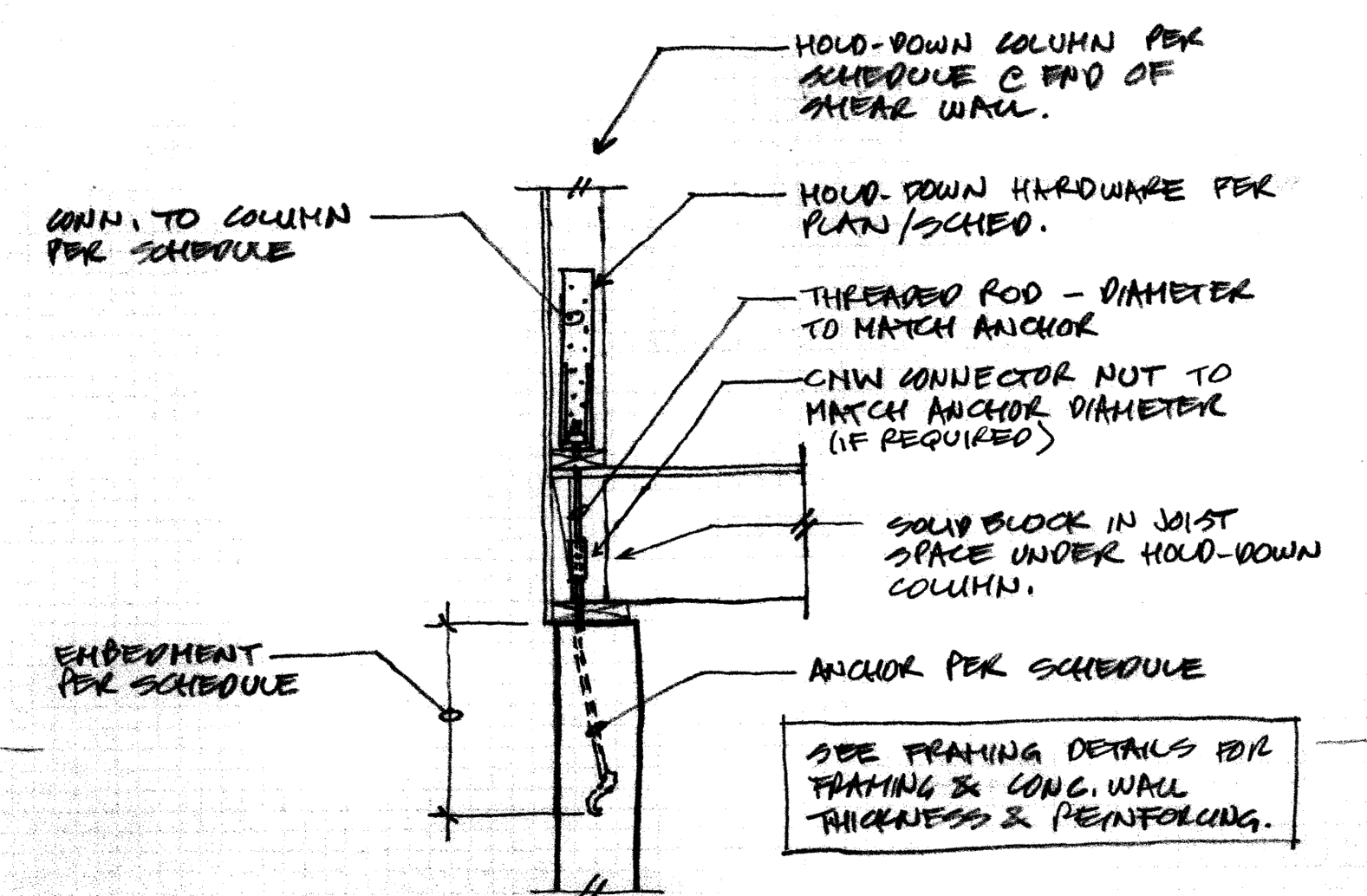
SHEAR WALL TOP PLATE CONNECTION

(C)  
1 1/2" = 1'-0"



BLOCKING AT HORIZONTAL JOINTS IN SHEAR WALL SHEATHING

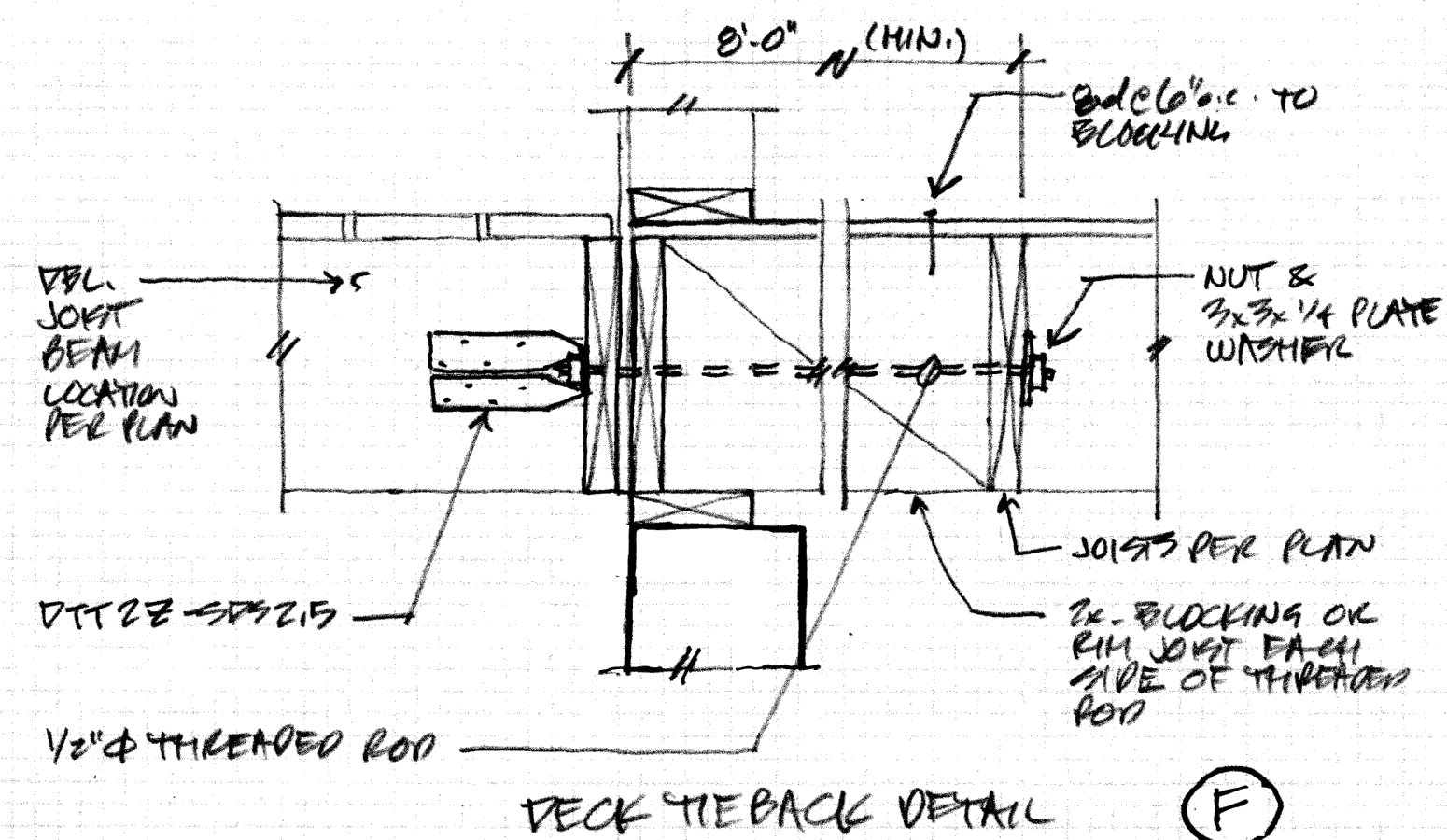
(D)  
1 1/2" = 1'-0"



SEE FRAMING DETAILS FOR FRAMING & CONG. WALL THICKNESS & PENETRATIONS.

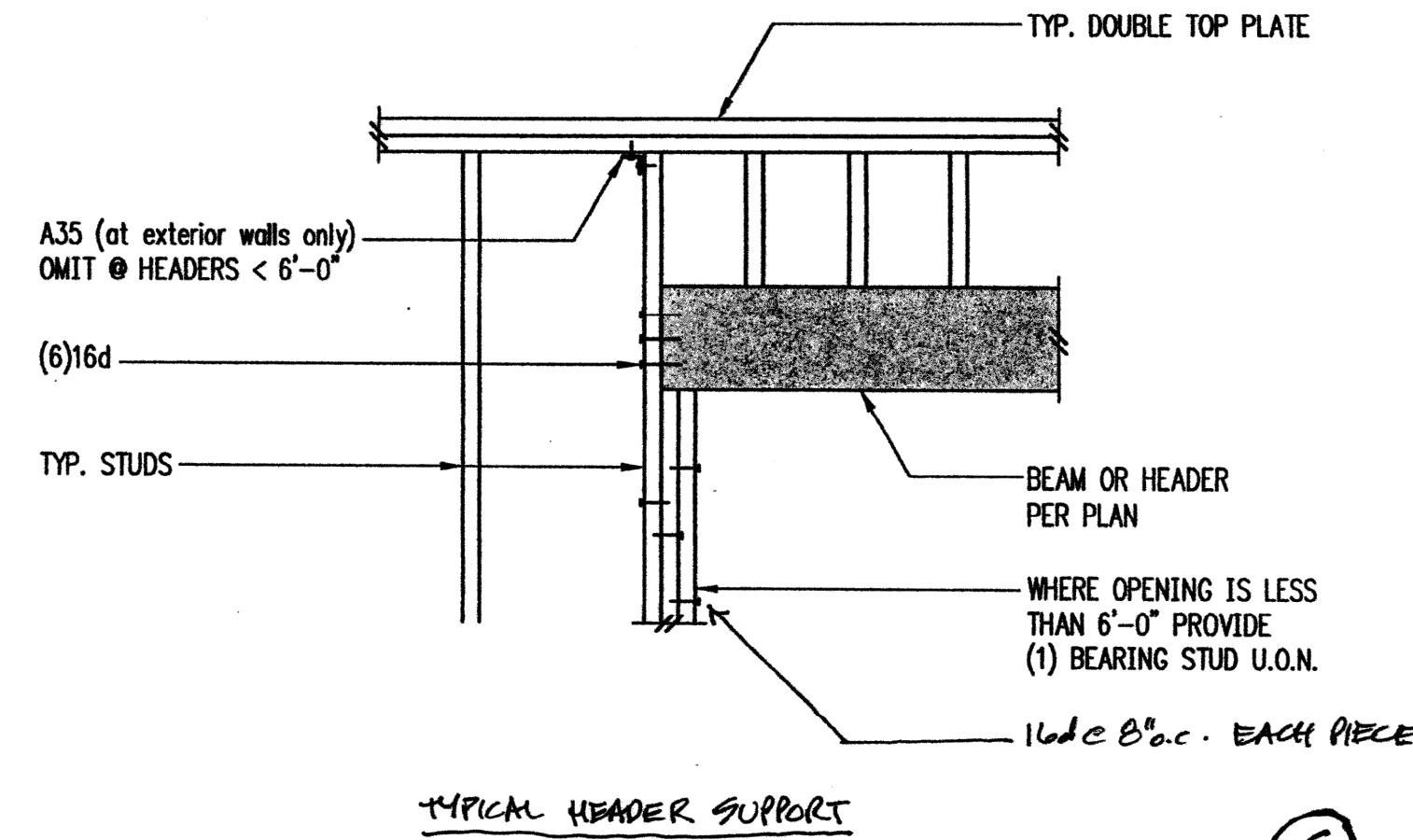
SCHEDULE				
HARDWARE	CAPS-IN-PLACE	BOTTOM GROUTED	HOLD-DOWN COL. (MIN.)	CONN. TO COLUMN
HDU5-S752.5	SS702A W/ 20% EMBED.	1/2" THREADED ROD W/ 1/2" MIN. EMBEDMENT	(2) 2x -	(4) S75252Z

(E)



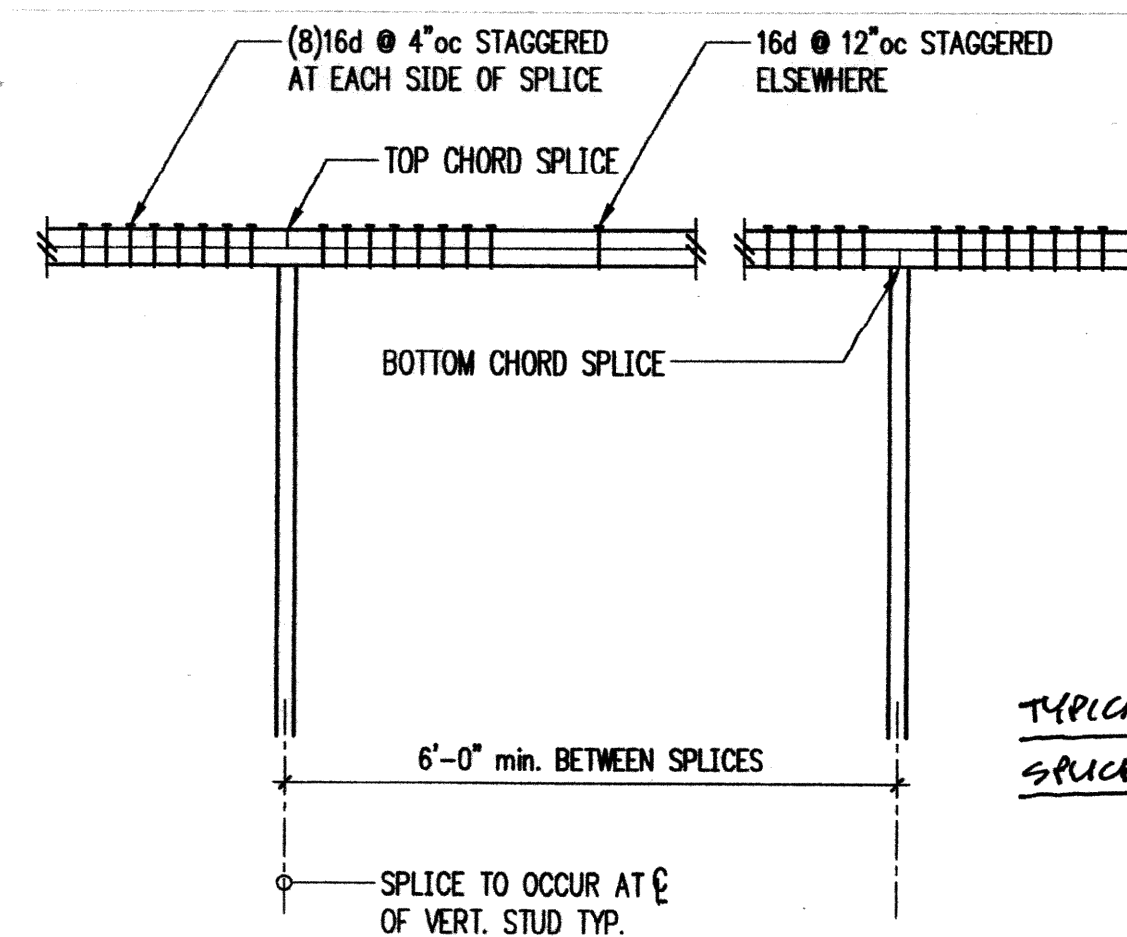
DECK TIE BACK DETAIL

(F)



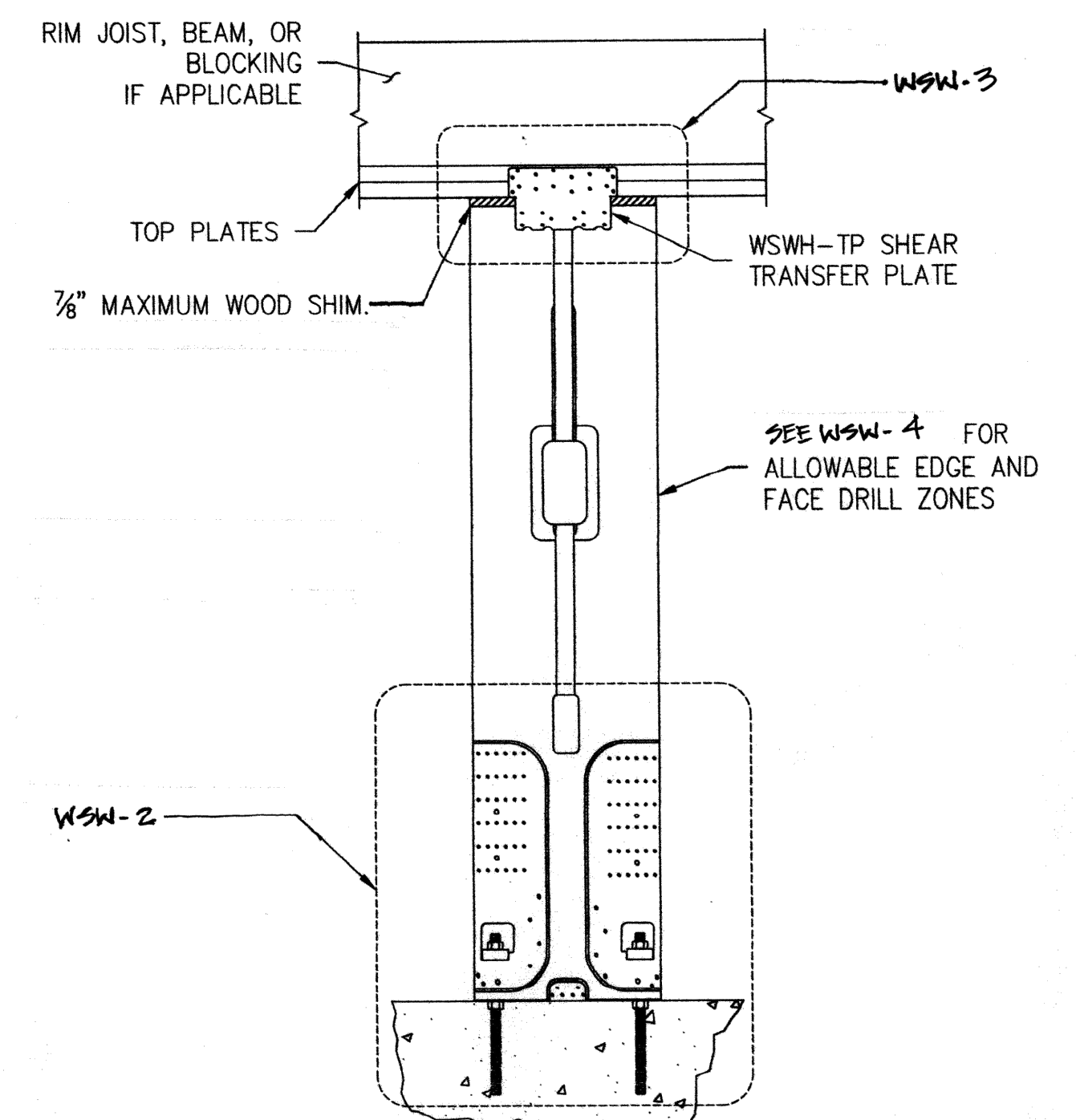
TYPICAL HEADER SUPPORT

(G)

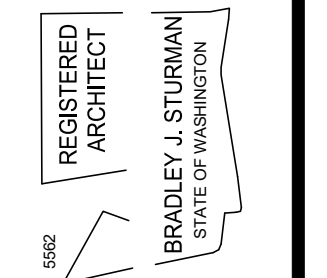


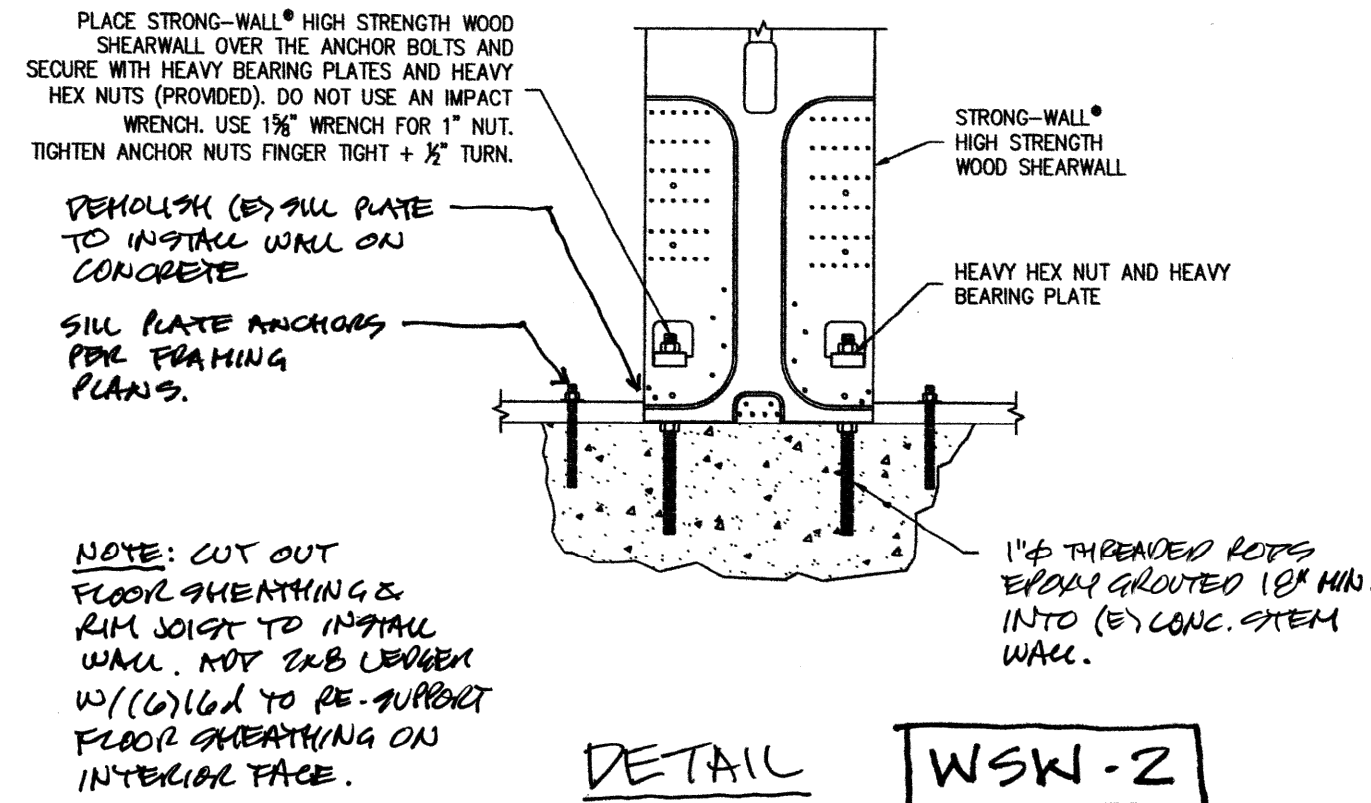
TYPICAL TOP PLATE SPLICE

(H)



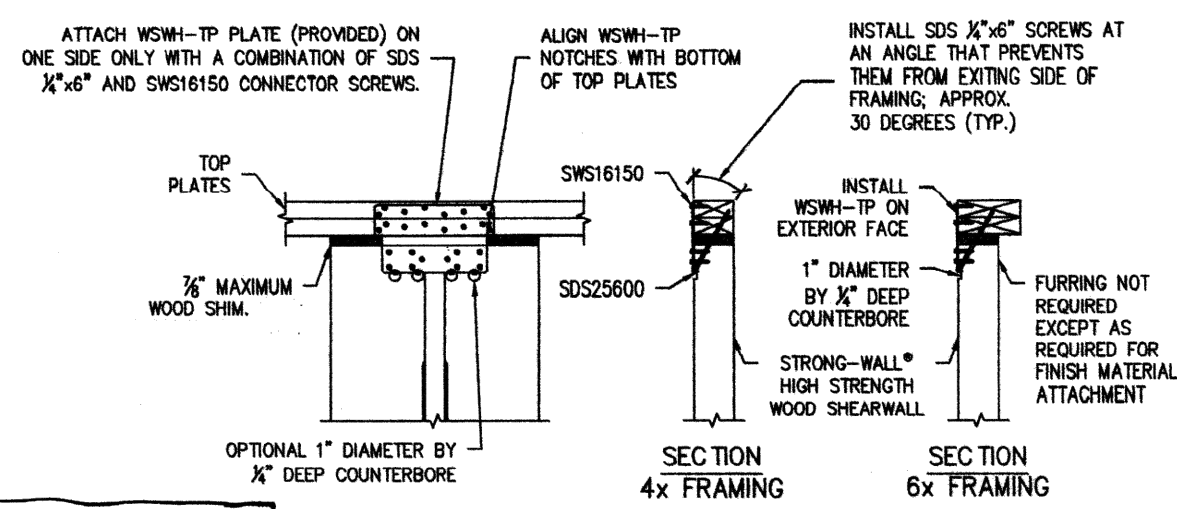
DETAIL WSK-1



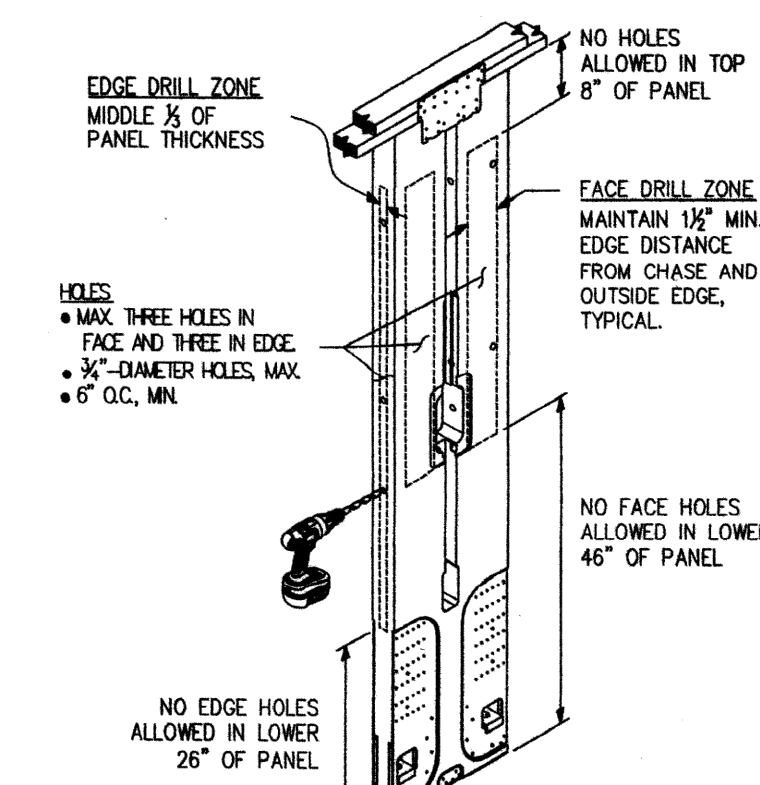


DETAIL WSK-2

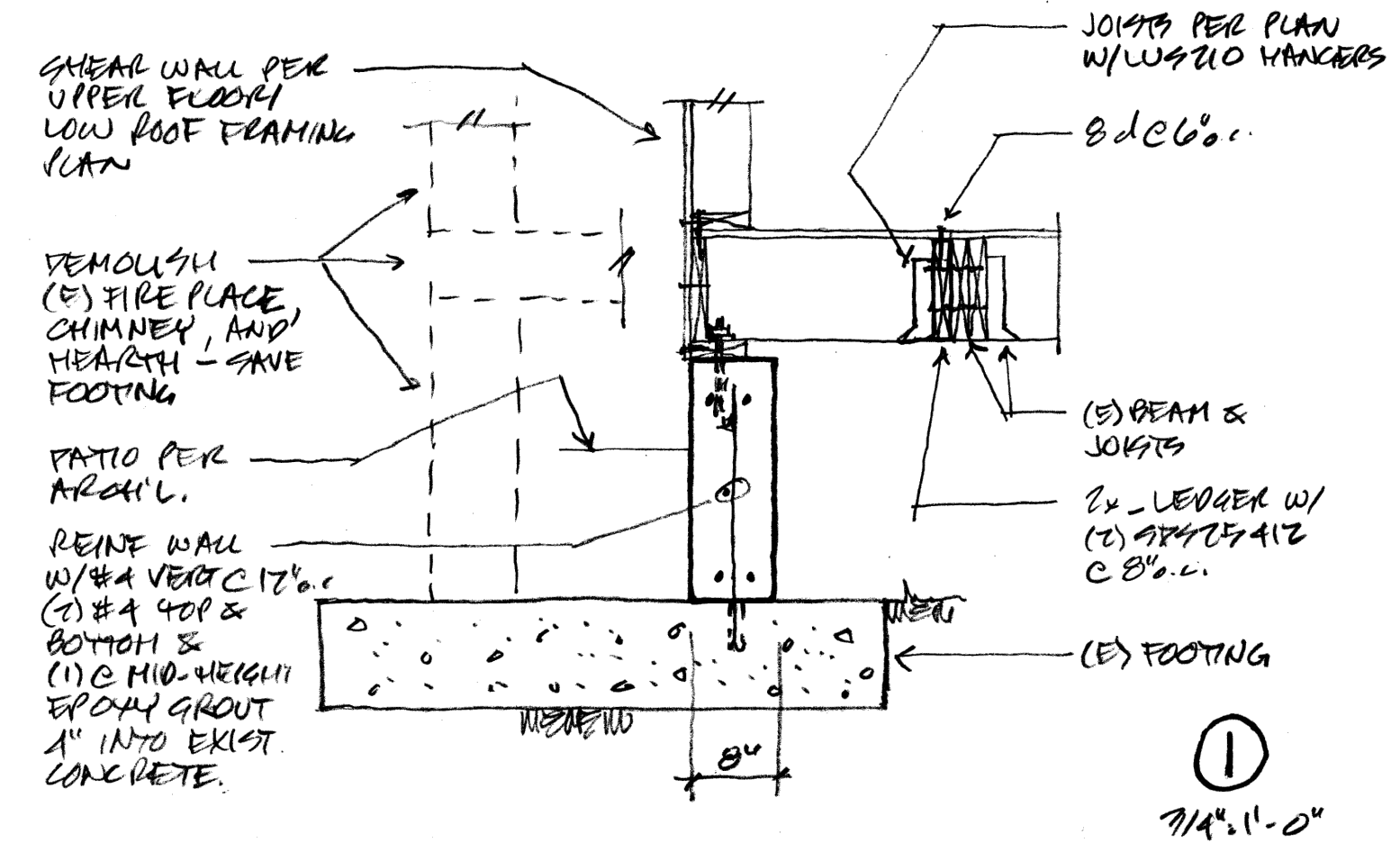
WSM-TP CONNECTION	
MODEL NO.	FASTENER QUANTITY
WSM-TP12	14
WSM-TP18	26
WSM-TP24	46



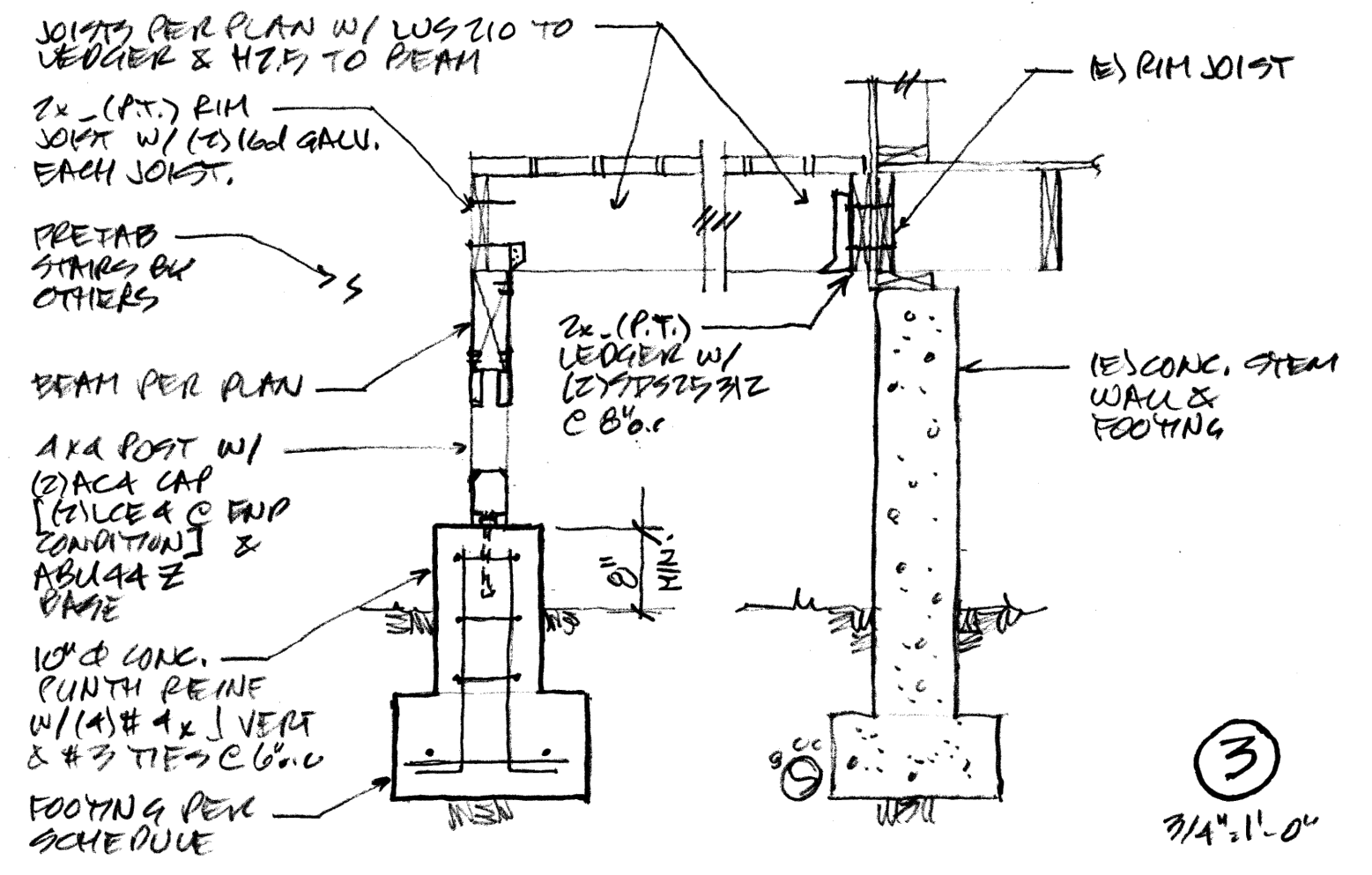
DETAIL WSK-3



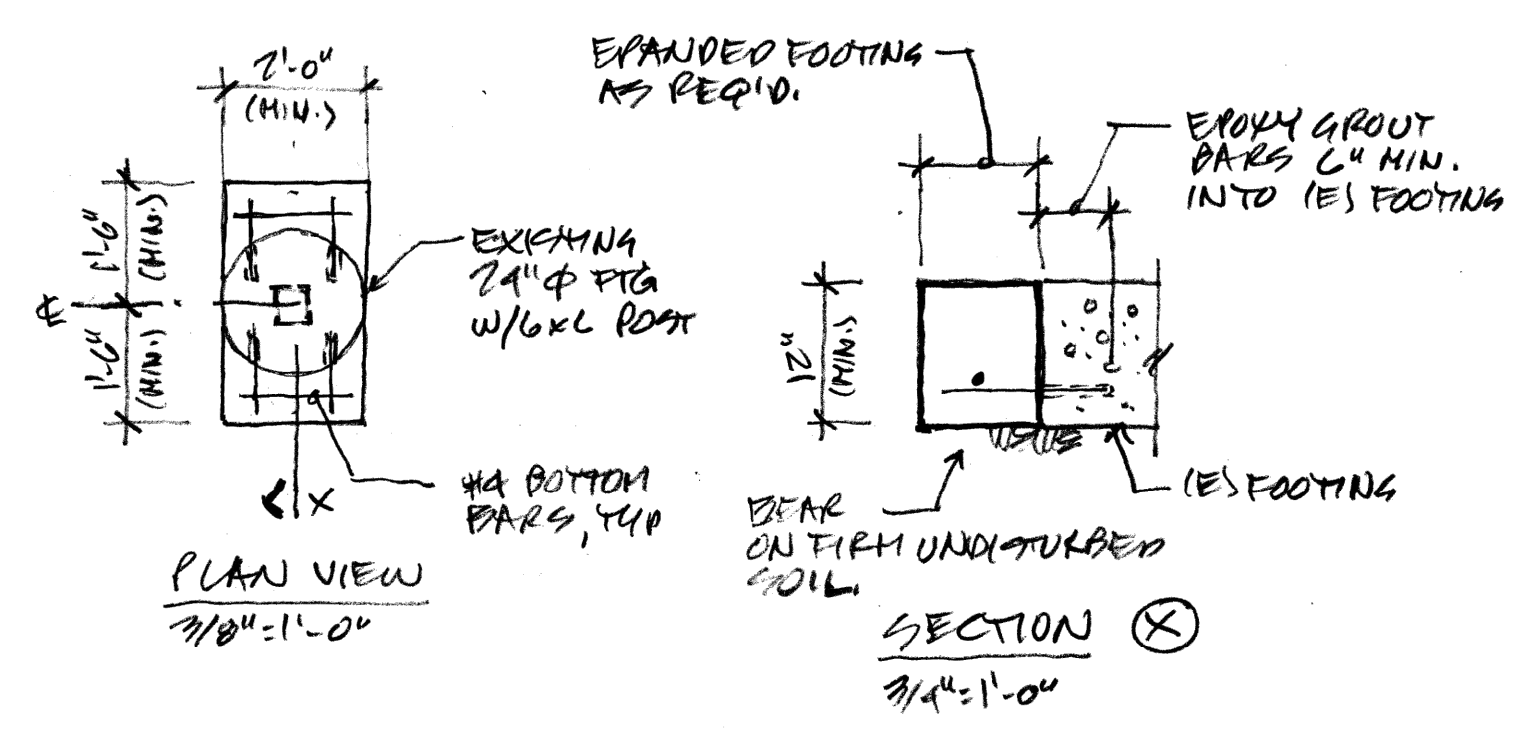
DETAIL WSK-4



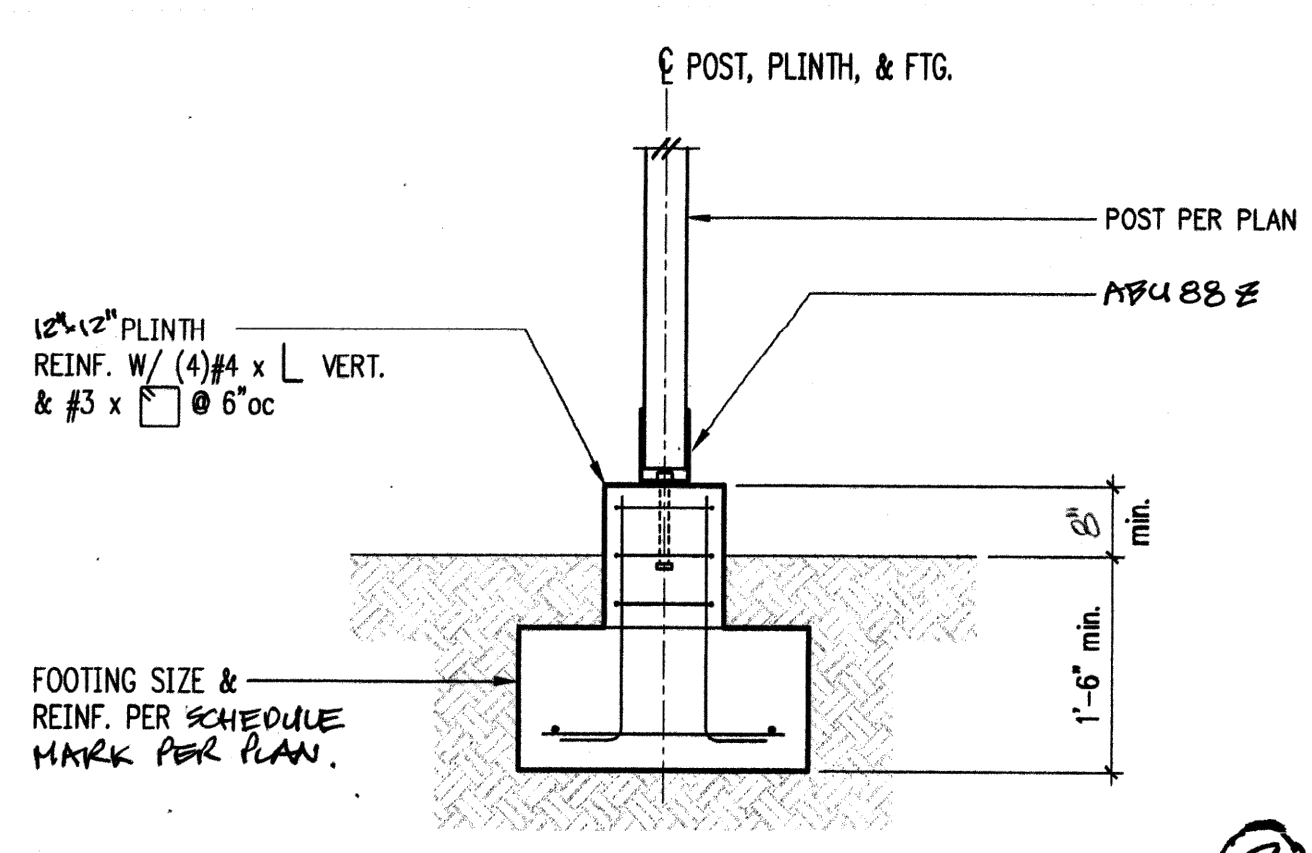
1 7/4\" x 1'-0"



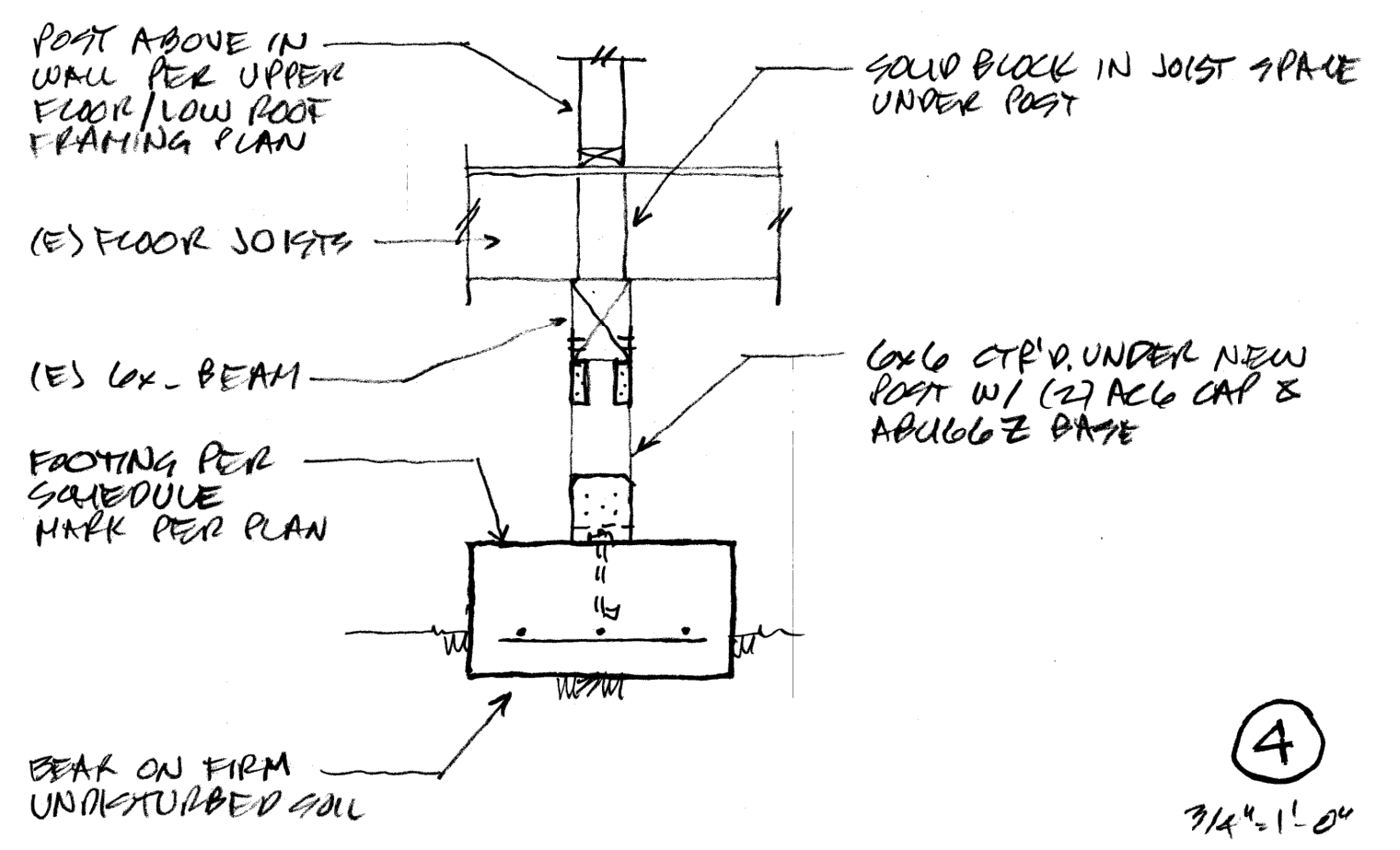
3 7/4\" x 1'-0"



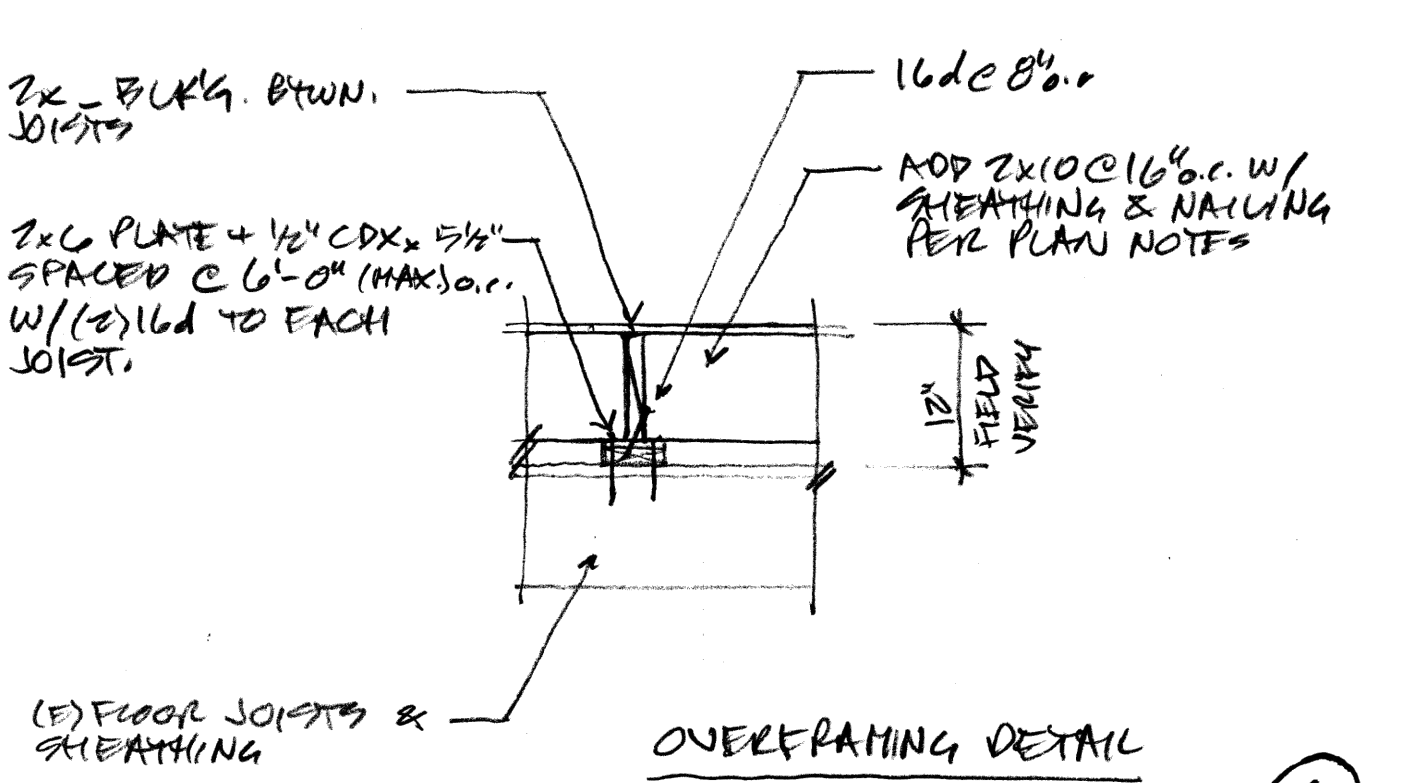
5 7/4\" x 1'-0"



2 7/4\" x 1'-0"



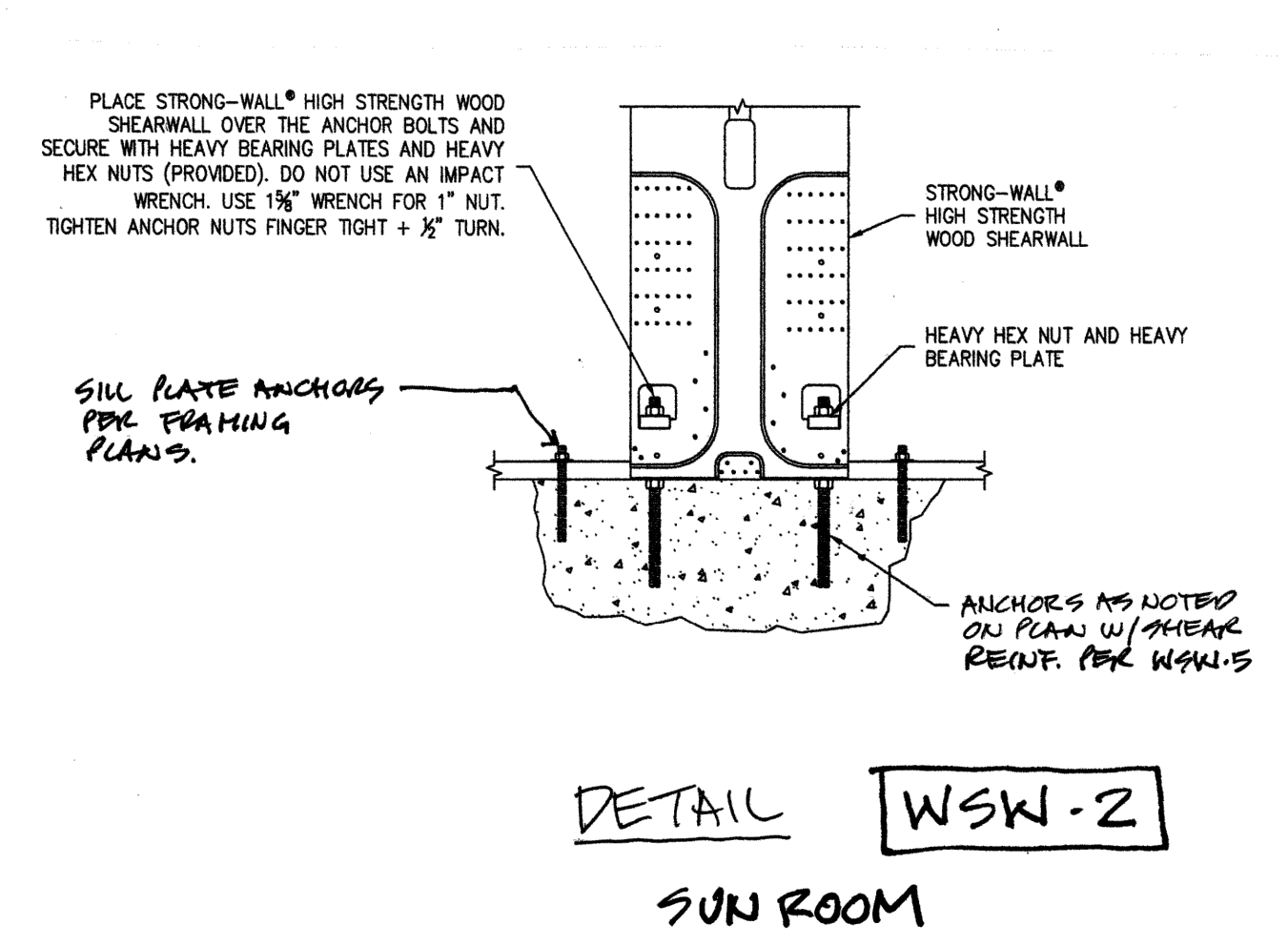
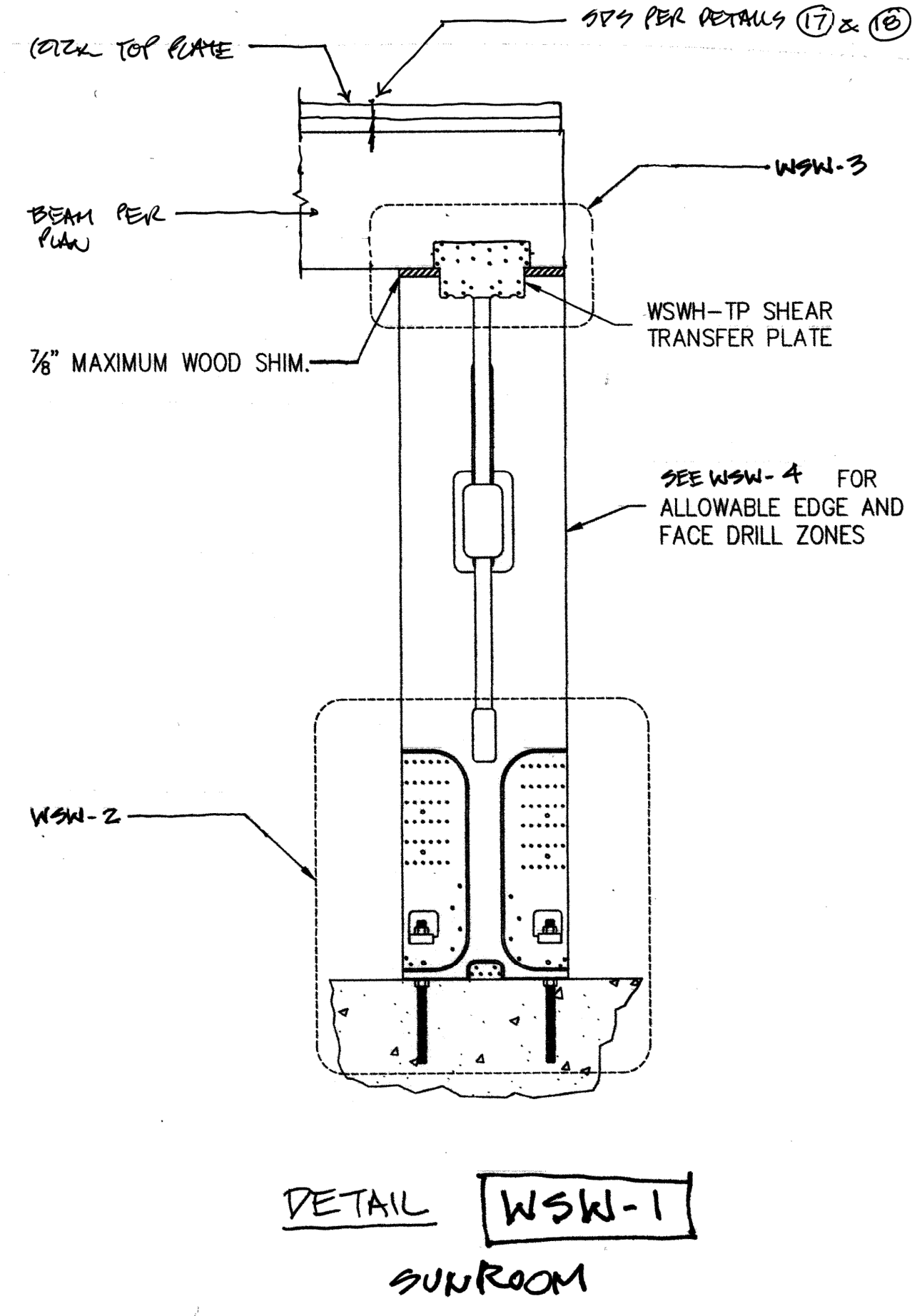
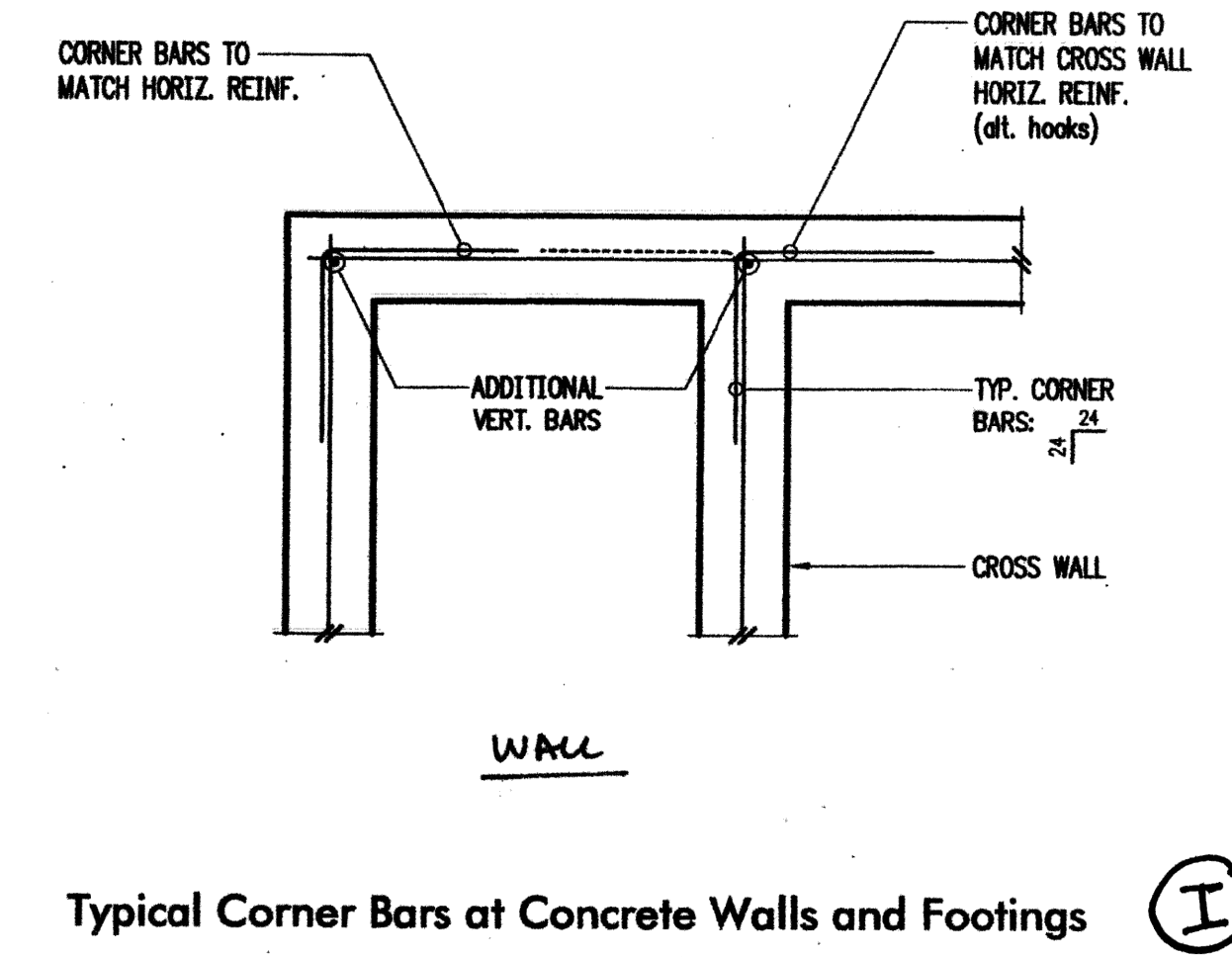
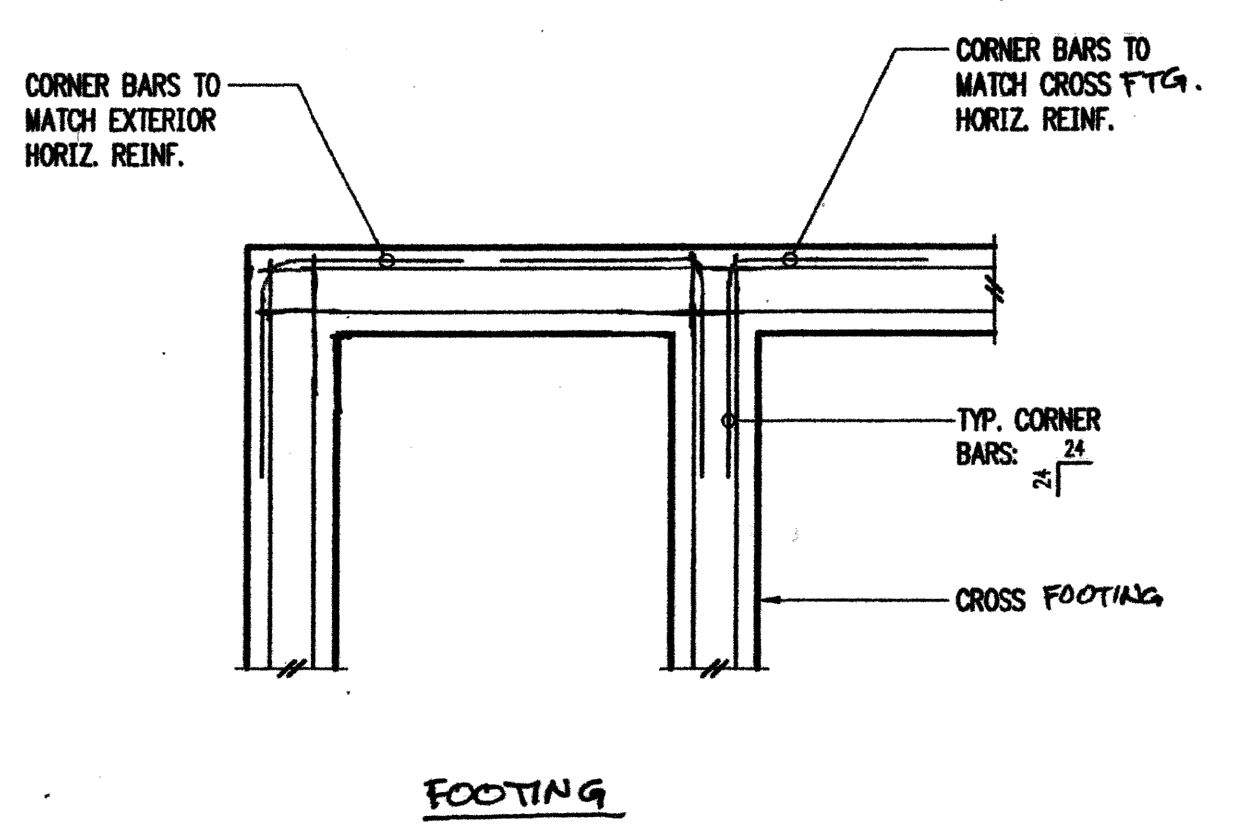
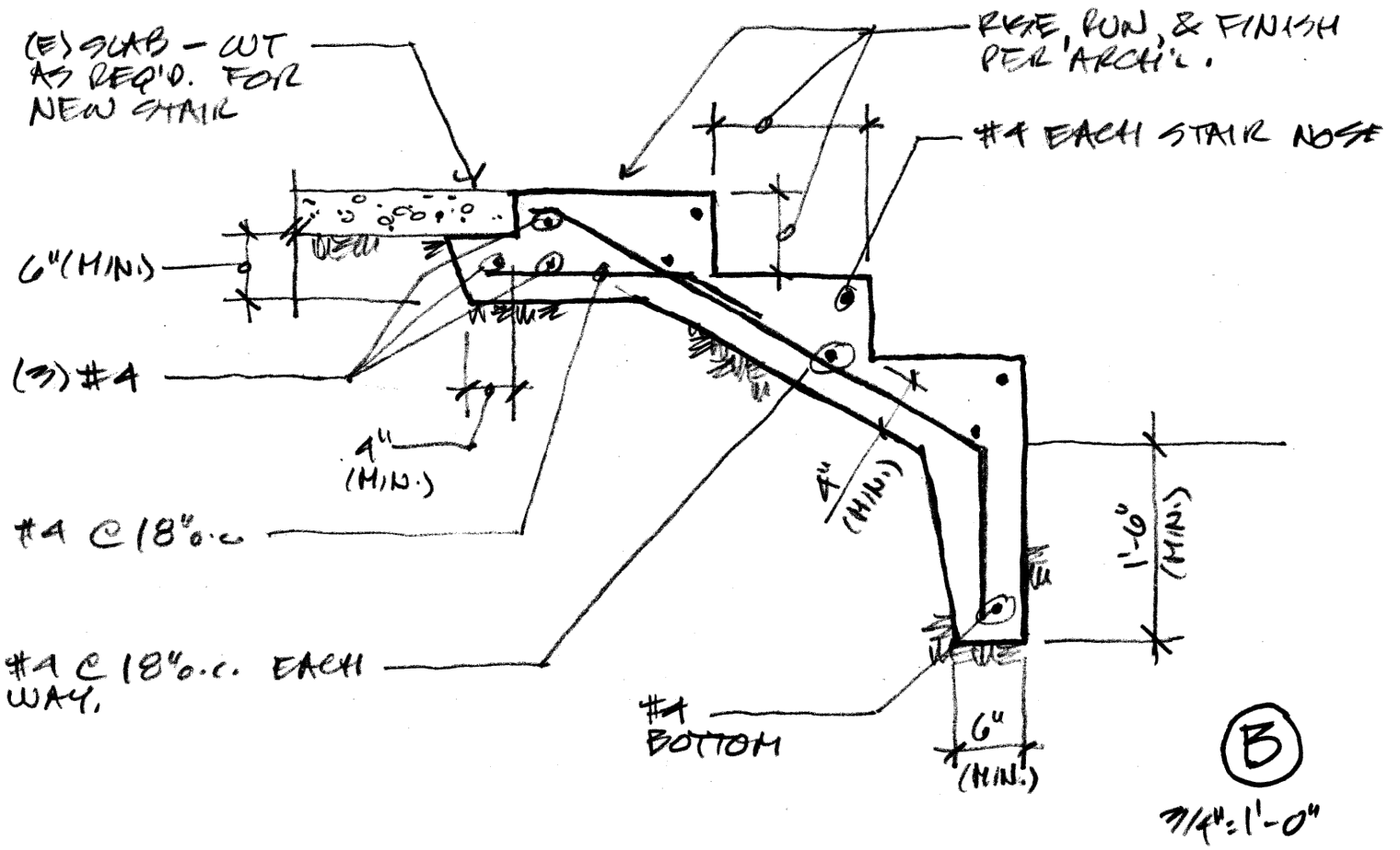
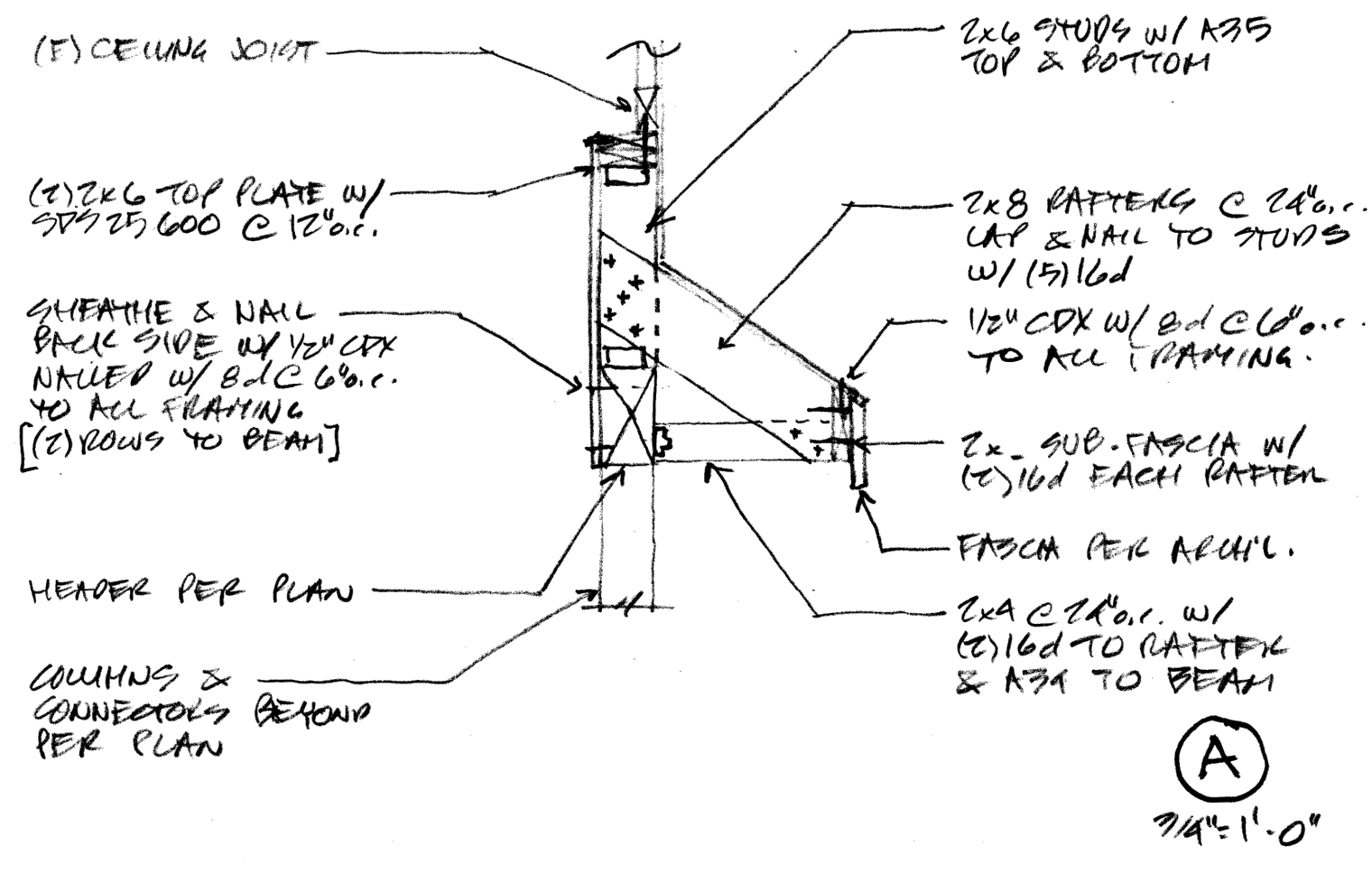
4 7/4\" x 1'-0"



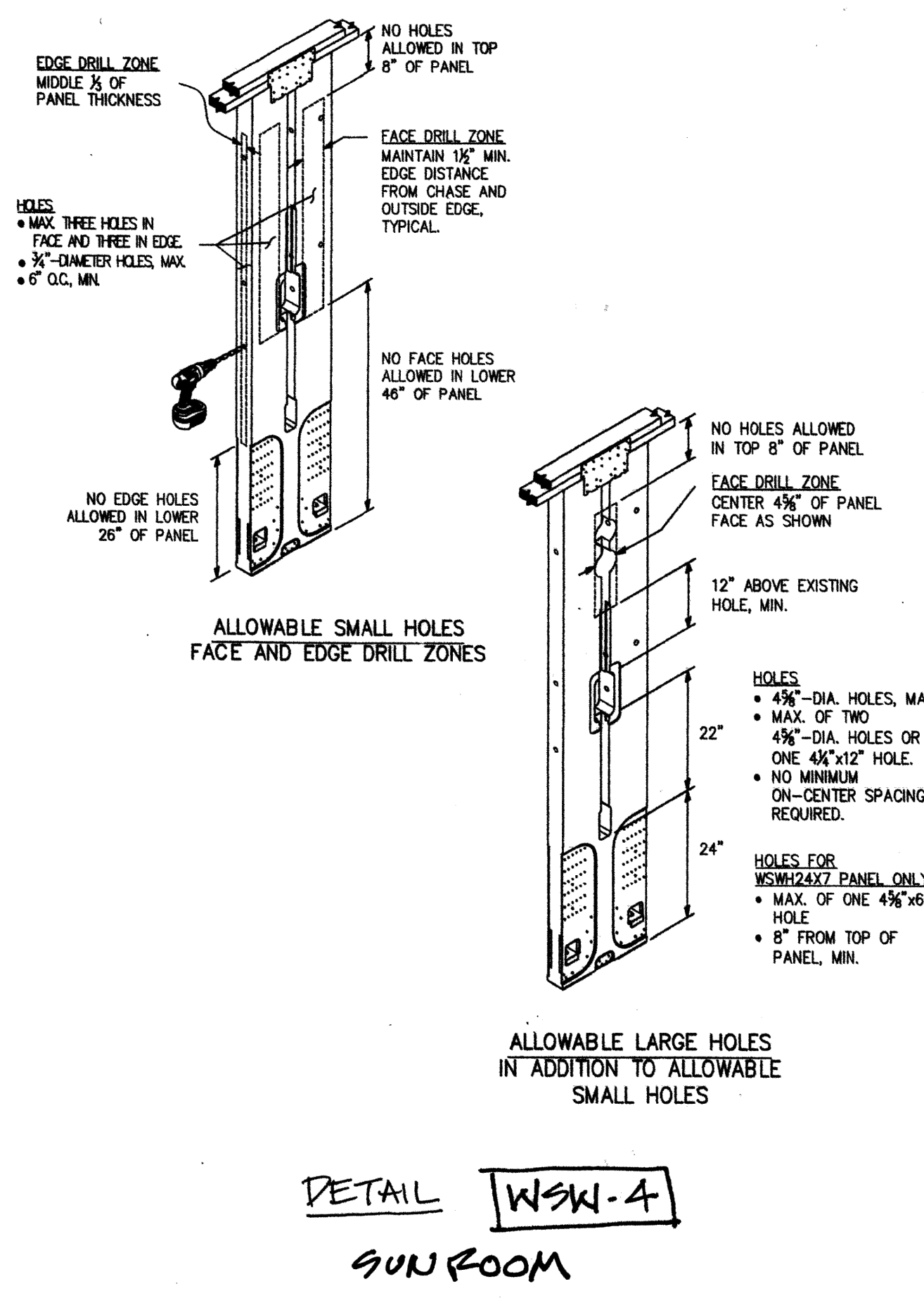
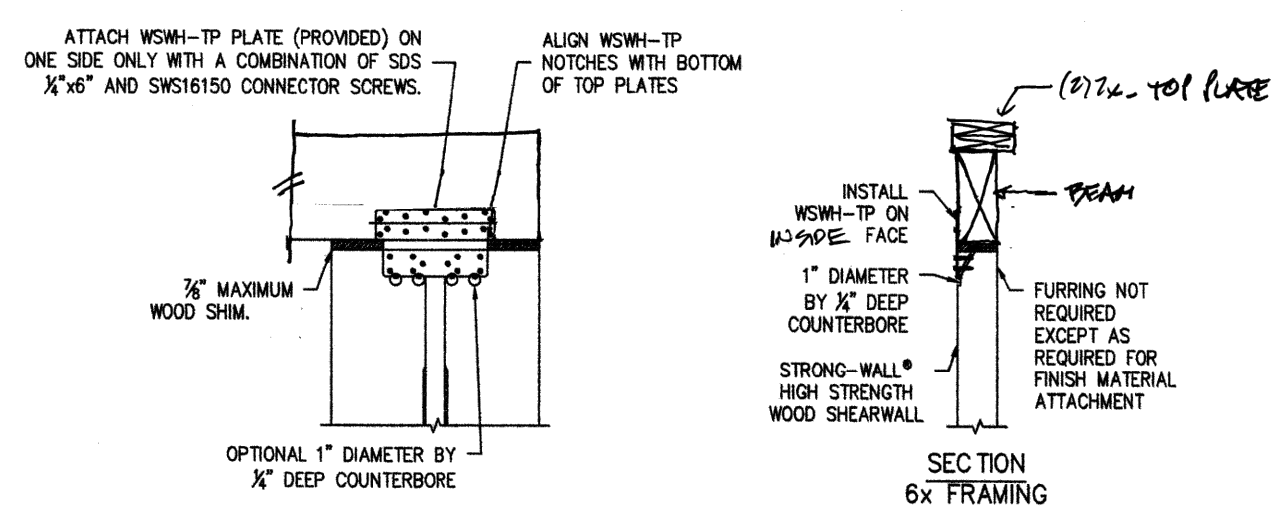
6 7/4\" x 1'-0"



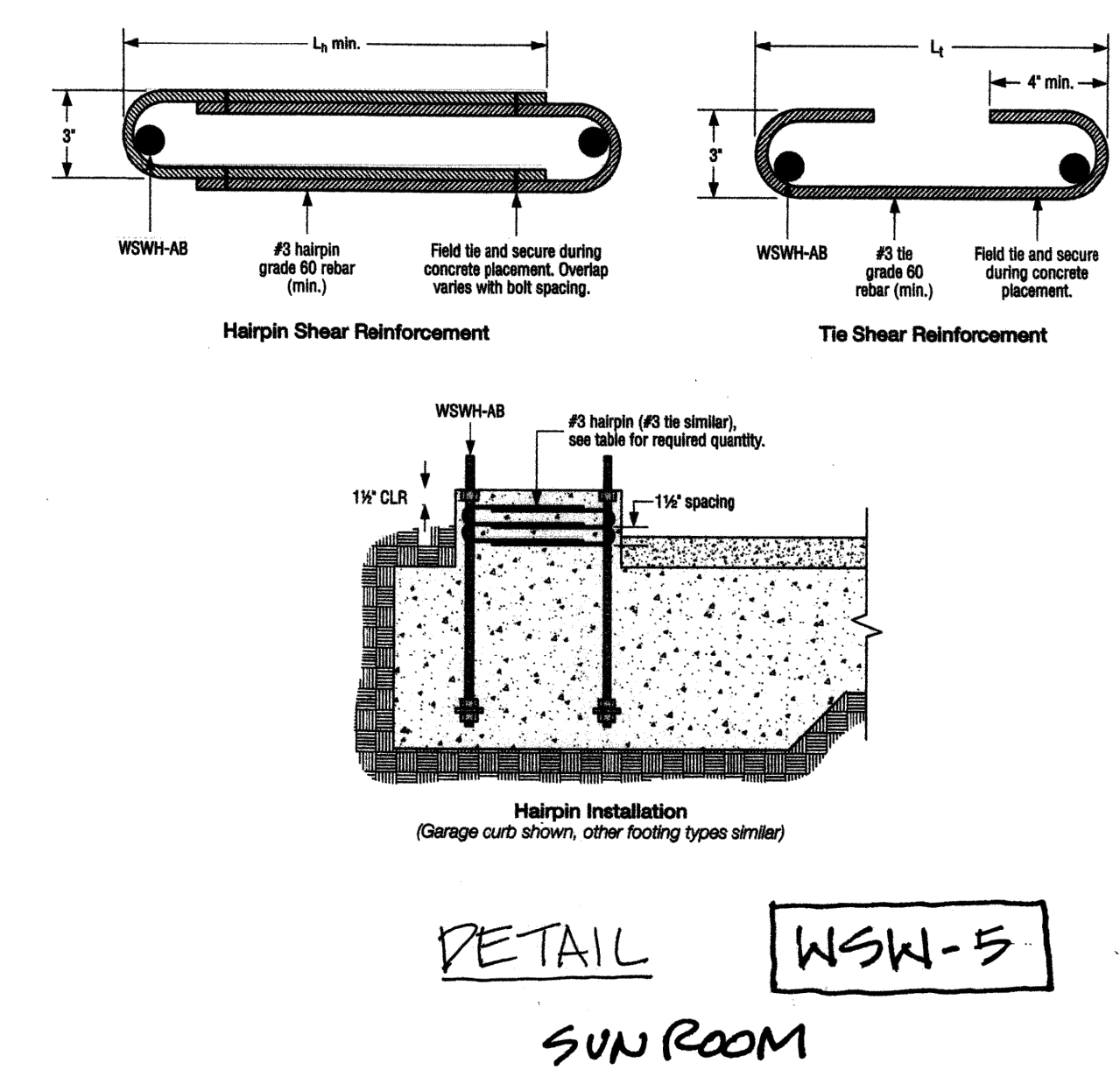




WSWH-TP CONNECTION		
MODEL NO.	FASTENER QUANTITY	
WSWH-TP12	14	SS304/30400
WSWH-TP18	26	4
WSWH-TP24	46	8



SHEAR REINFORCING SCHEDULE		
WALL MODEL	Lt or Lh (in.)	SHEAR REINFORCING
WSWH 12	10 1/4	(1) #3 TIE
WSWH 18	15	(2) #3 HAIRPINS
WSWH 24	19	(2) #3 HAIRPINS



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STRUCTURAL DETAILS

REVISIONS:

- 2023-13 CORRECTION 1
- 2023-31 PERMIT REVISION
- 2024-123 REVISION SUB 2

PLOT DATE: 1/23/2024

DRAWN BY: JM

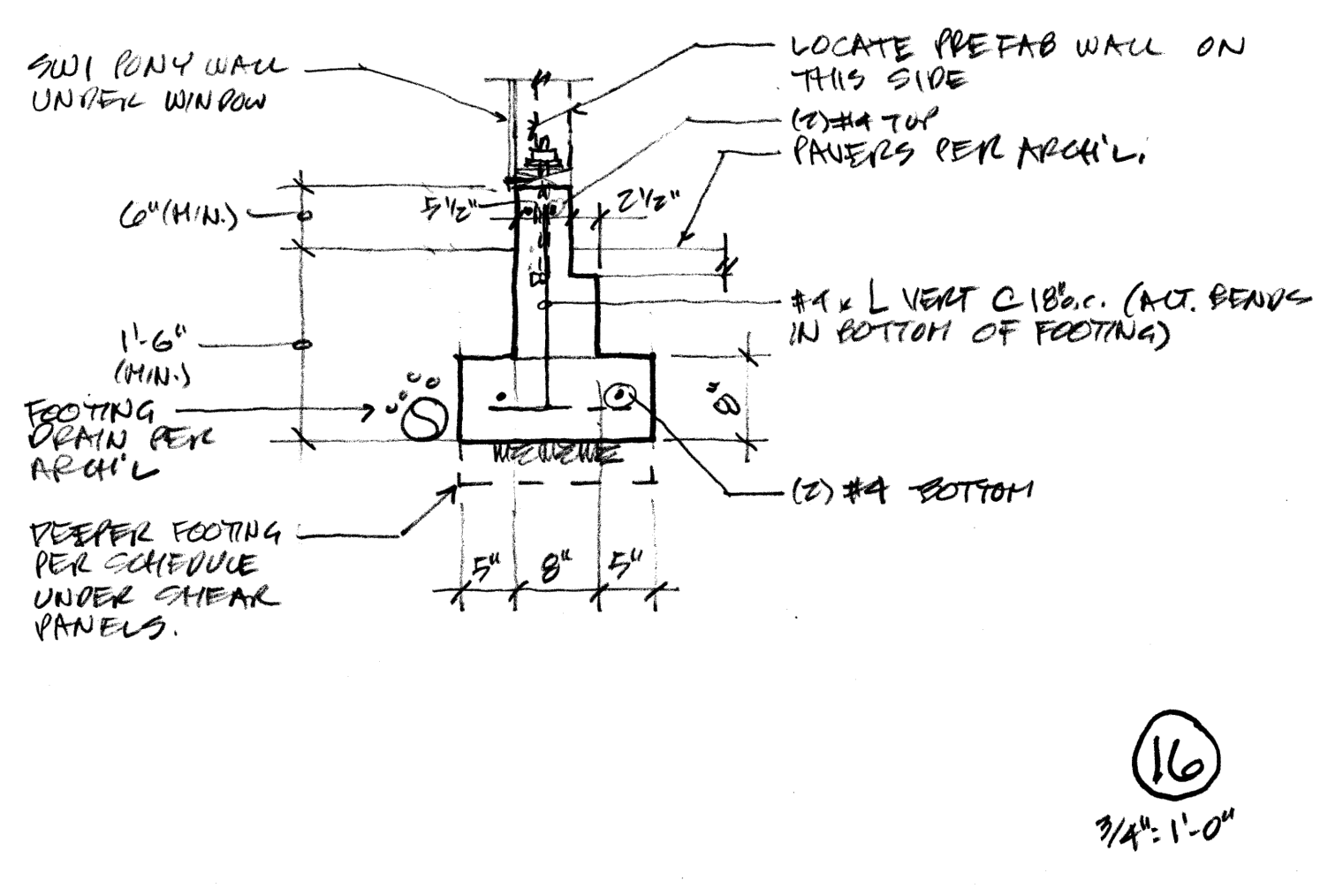
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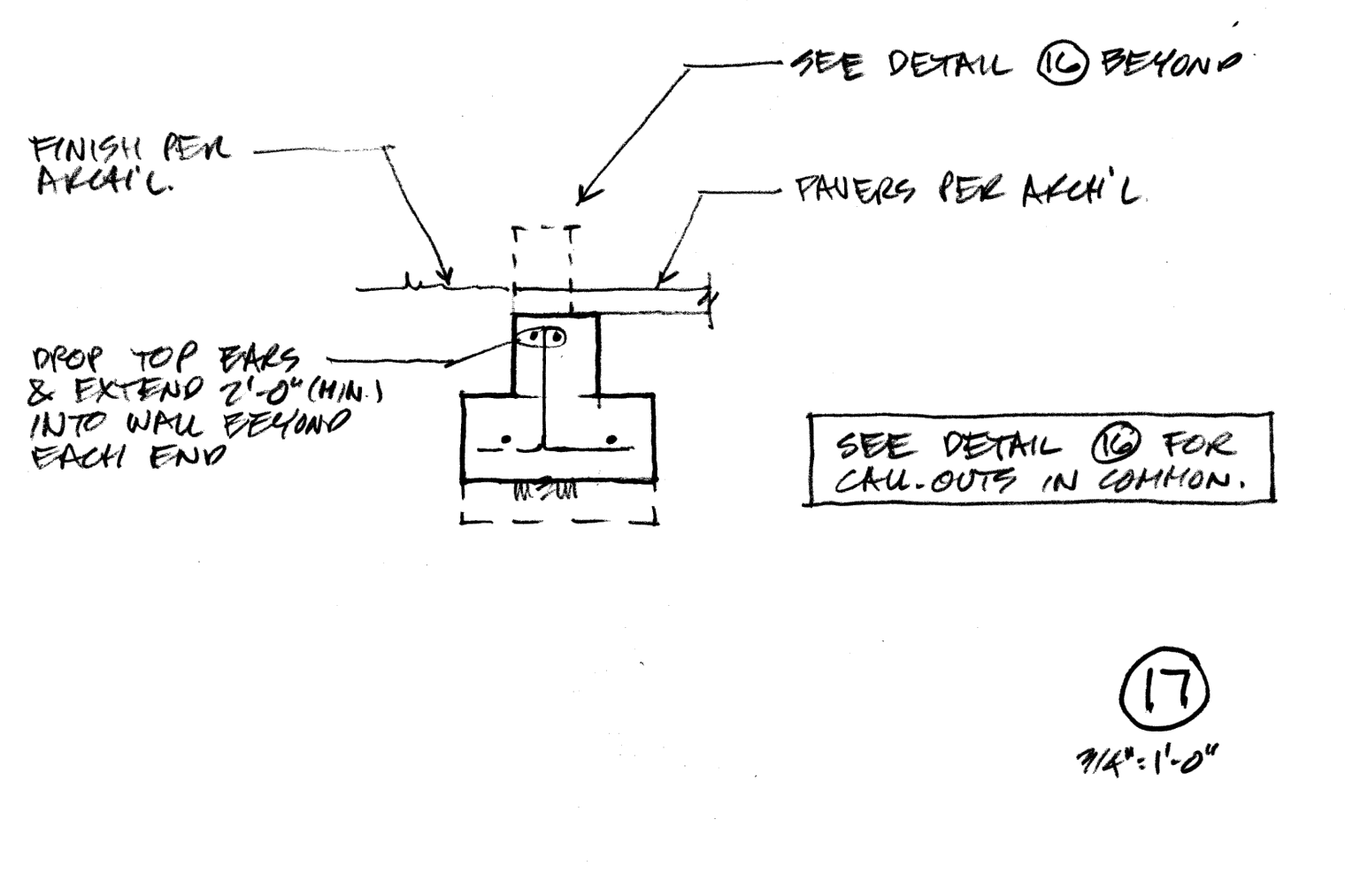
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PHASE 2 CORRECTION 1 1/23/2024

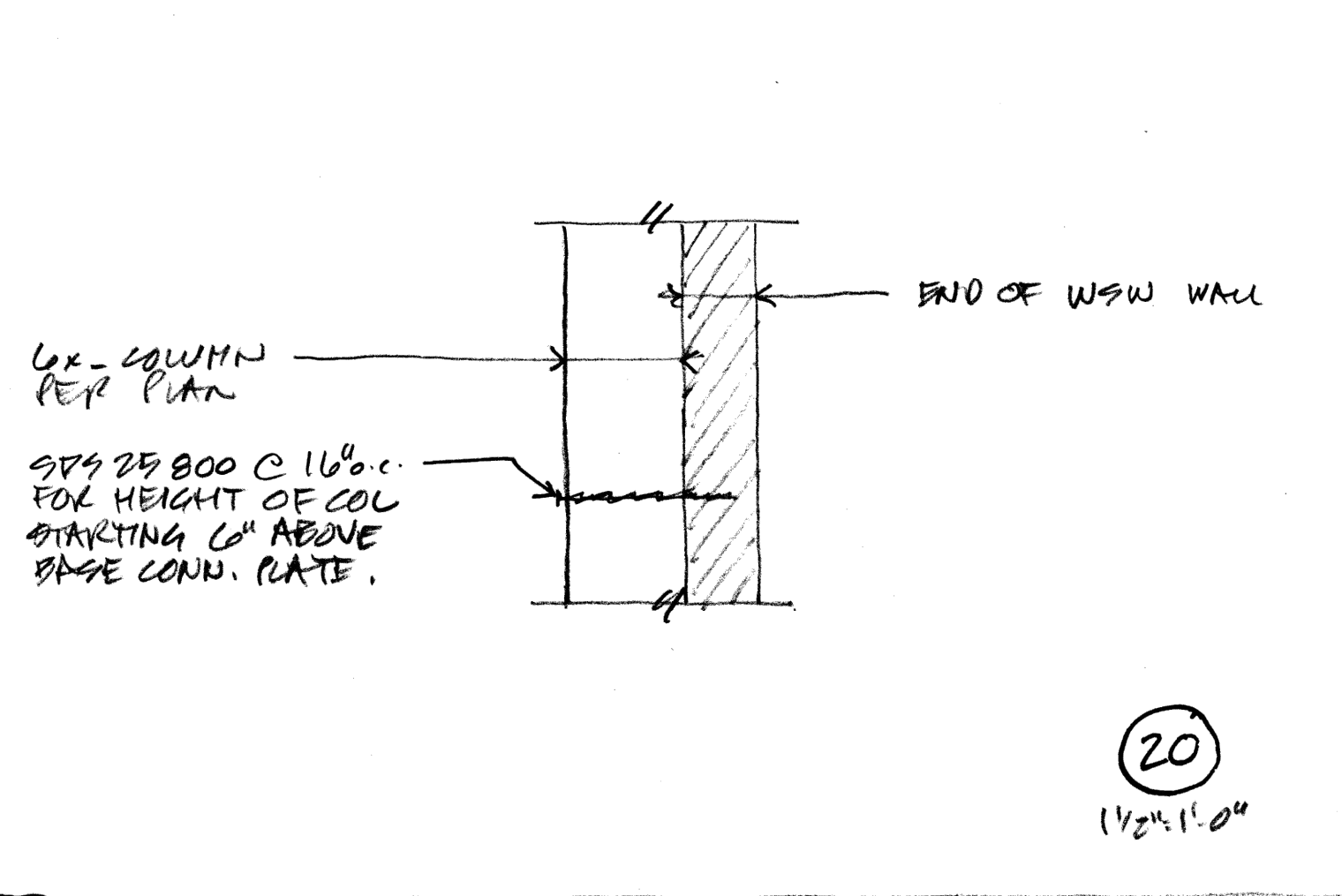
SD-4



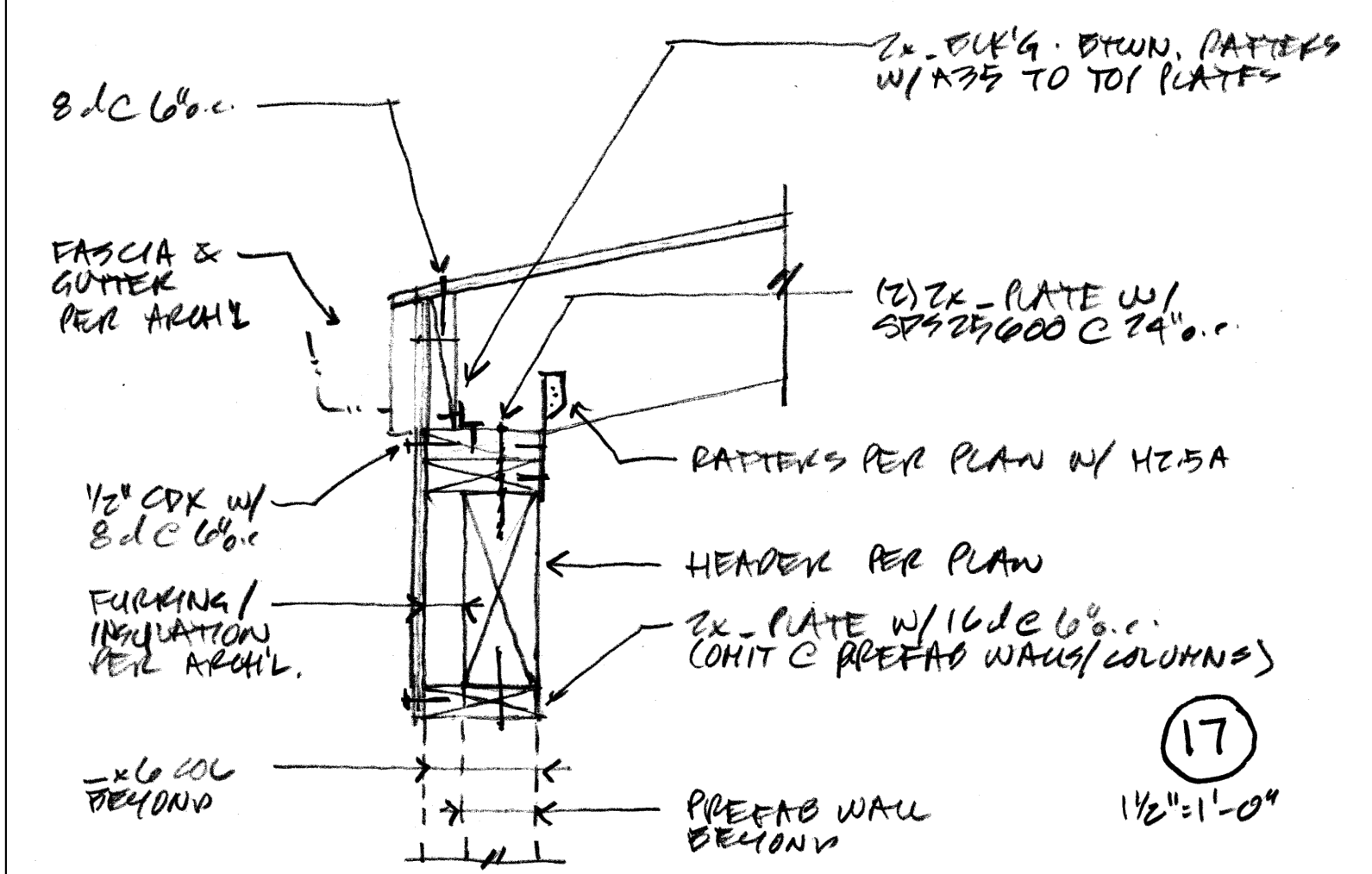
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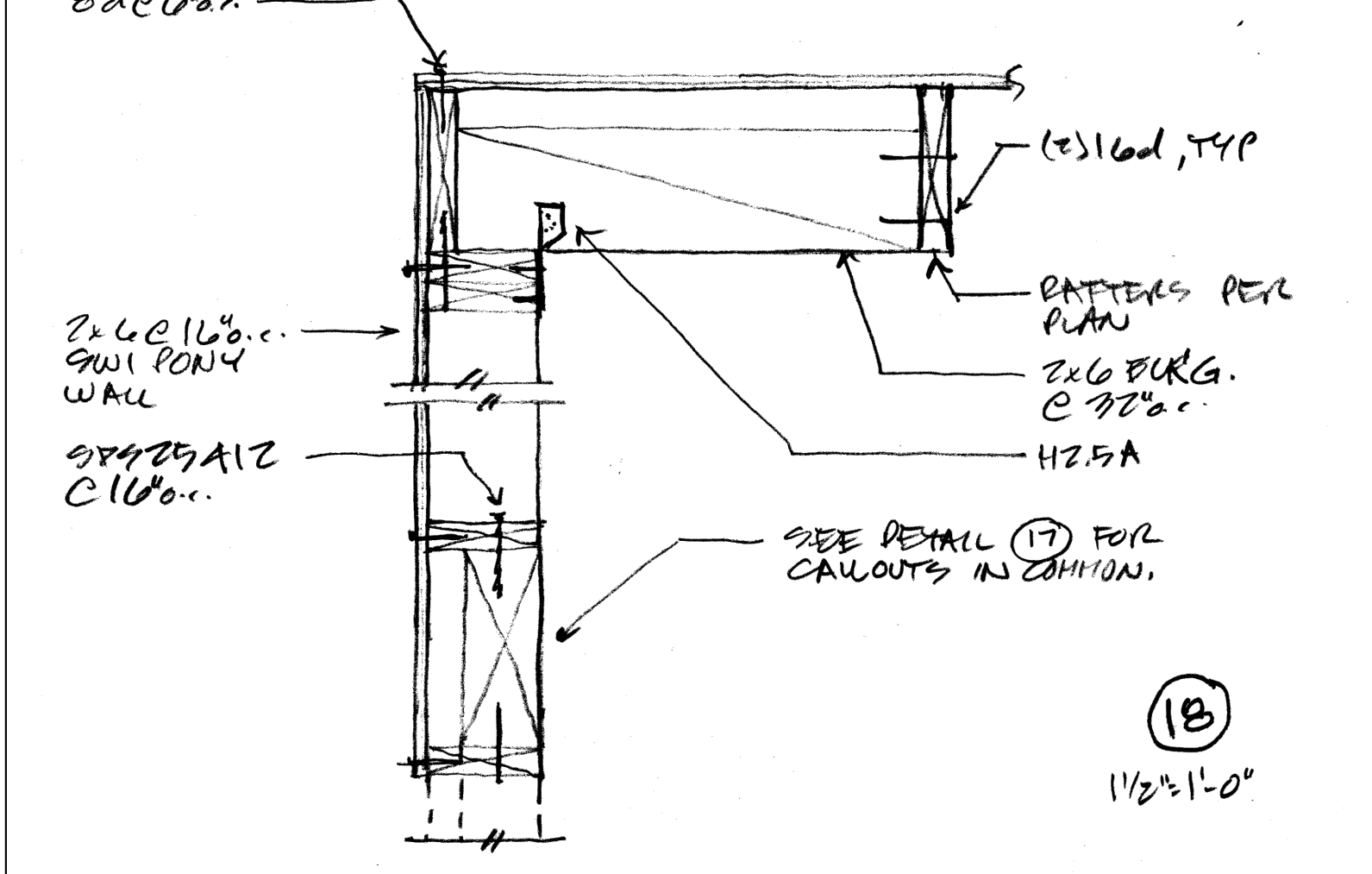
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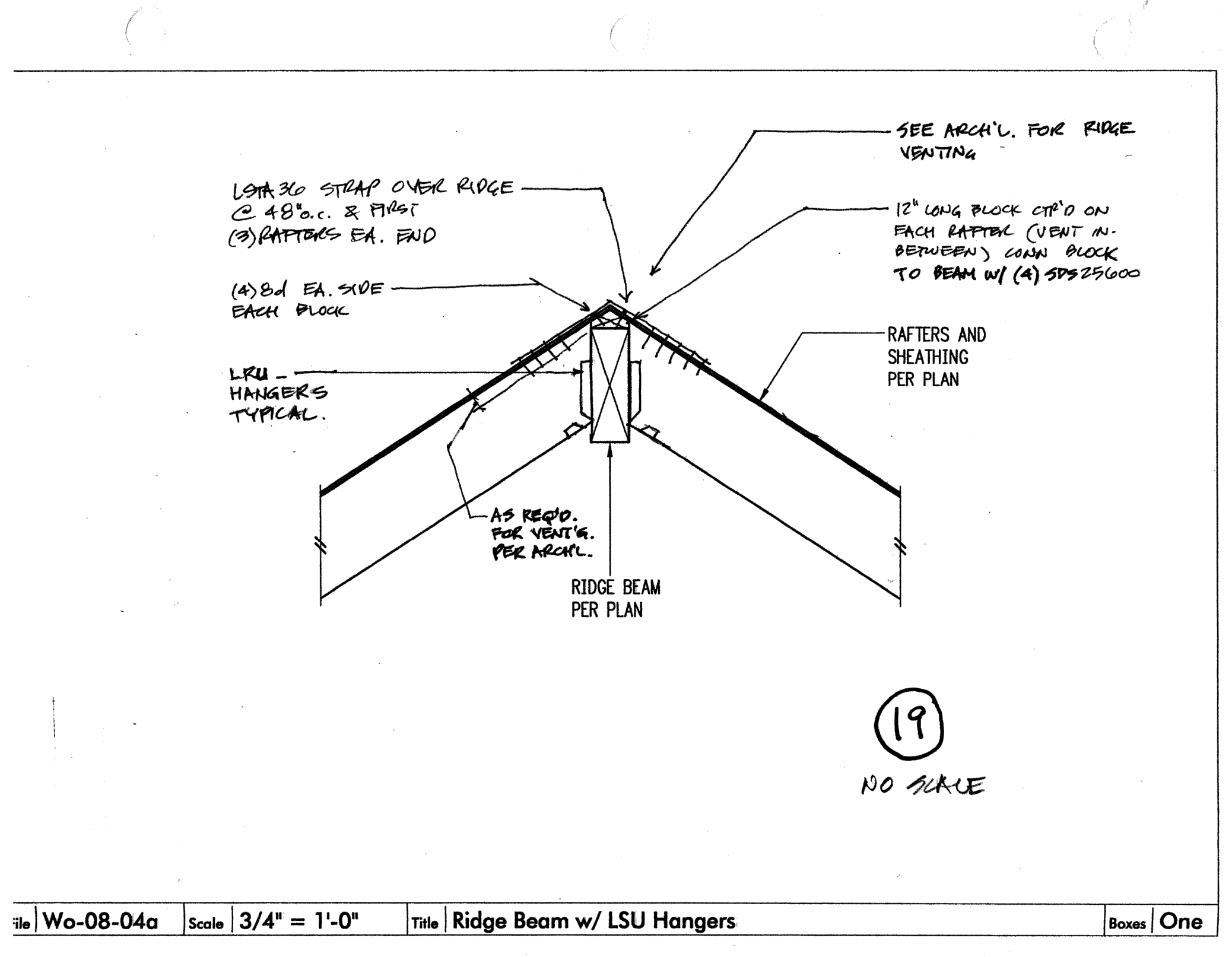
20  
1 1/2" = 1'-0"



17  
1 1/2" = 1'-0"



18  
1 1/2" = 1'-0"



19  
NO SCALE

Title: Wo-08-04a Scale: 3/4" = 1'-0" Title: Ridge Beam w/ LSU Hangers Boxes: One



REVISIONS:	2023-7-13 CORRECTION 1	
	2023-5-31 PERMIT REVISION	
	2024-1-23 REVISION SUB 2	
PLOT DATE:	1/23/2024	
DRAWN BY:	JM	
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